

<p>CARNEGIE FORUM 305 WEST PINE STREET LODI, CALIFORNIA</p>	<p style="text-align: center;">AGENDA LODI SITE PLAN & ARCHITECTURAL REVIEW COMMITTEE</p>	<p style="text-align: center;"><u>REGULAR SESSION</u> WEDNESDAY, JULY 14, 2010 @ 5:15 PM</p>
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For information regarding this agenda please contact:
Kari Chadwick @ (209) 333-6711
Community Development Secretary

NOTE: All staff reports or other written documentation relating to each item of business referred to on the agenda are on file in the Office of the Community Development Department, located at 221 W. Pine Street, Lodi, and are available for public inspection. If requested, the agenda shall be made available in appropriate alternative formats to persons with a disability, as required by Section 202 of the Americans with Disabilities Act of 1990 (42 U.S.C. Sec. 12132), and the federal rules and regulations adopted in implementation thereof. To make a request for disability-related modification or accommodation contact the Community Development Department as soon as possible and at least 24 hours prior to the meeting date.

1. ROLL CALL
2. MINUTES – “June 23, 2010”
3. REVIEW ITEMS
 - a. Request for Site Plan and Architectural Review Committee approval for façade improvements to an existing building located at 212 West Pine Street. (Applicant: Pine Street Partners LLC; File 10-SP-06).
 - b. Request Site Plan and Architectural Review Committee approval of the site plan and architecture of the proposed Surface Water Treatment Facility (Applicant: Public Works Department; File 10-SP-07).
4. COMMENTS BY THE PUBLIC
5. ADJOURNMENT

Pursuant to Section 54954.2(a) of the Government Code of the State of California, this agenda was posted at least 72 hours in advance of the scheduled meeting at a public place freely accessible to the public 24 hours a day.

***NOTICE:* Pursuant to Government Code §54954.3(a), public comments may be directed to the legislative body concerning any item contained on the agenda for this meeting before (in the case of a Closed Session item) or during consideration of the item.

Right of Appeal:

If you disagree with the decision of the committee, you have a right of appeal. Only persons who participated in the review process by submitting written or oral testimony, or by attending the public meeting, may appeal.

Pursuant to Lodi Municipal Code Section 17.81.070, actions of the Site Plan and Architectural Review Committee may be appealed to the Planning Commission by filing, within ten (10) business days, a written appeal with the Community Development Director and payment of \$300.00 appeal fee. The appeal shall be processed in accordance with Chapter 17.88, Appeals, of the Lodi Municipal Code. Contact: Community Development Director, City Hall 1st Floor, 221 West Pine Street, Lodi, California 95240 – Phone: (209) 333-6711.

**SITE PLAN AND ARCHITECTURAL
REVIEW COMMITTEE SPECIAL MEETING
CARNEGIE FORUM, 305 WEST PINE STREET
WEDNESDAY, JUNE 23, 2010
MINUTES**

1. CALL TO ORDER / ROLL CALL

The Regular Site Plan and Architectural Review Committee meeting of June 23, 2010 was called to order by Chair Selleseth at 5:15 p.m.

Present: Committee Members – Kiser, Reyes, Slater, Stafford and Chair Selleseth

Absent: Committee Members – None

Also Present: Associate Planner Bereket.

2. MINUTES

- a) January 27, 2010 minutes approved, motion by Kiser, second by Slater. SPARC member Stafford abstained.

3. REVIEW ITEMS

- a) Request for Site Plan and Architectural Review Committee approval to construct two coffee kiosks at Terra Bella Plaza located at 1110 West Kettleman Lane. (Applicant: Mr. Frank Lozano, on behalf of Lodi Ranch Center LLC; File 10-SP-03)

Mr. Bereket presented and briefly described the design features of the proposed kiosks at the Terra Bella Shopping Center located at 1110 West Kettleman Lane. Mr. Bereket stated that the applicant proposes to construct two permanent kiosks. He indicated the kiosks would be nine (9) feet wide by ten (10) feet deep and would be approximately ten and half feet tall. Mr. Bereket further outlined that the kiosks would be painted to match the recently renovated shopping center, which consists of red and yellow walls with a dark gray roof canopy. He stated the kiosks would be placed on existing concrete pad in front of the building.

After staff's presentation, the Committee asked few questions about the project. SPARC member Slater asked if any landscape would be removed to accommodate the two kiosks. Mr. Bereket stated no landscaping or parking spaces would be removed. Mr. Bereket outlined the proposed location of the kiosks and stated the proposed location is currently concrete pad and is not used for any purpose. Commissioner Kiser asked about utility services. Mr. Bereket stated the kiosks would be permanent structures and would be connected to the City's water and wastewater mains. Electrical services would also be provided by the City. Mr. Kiser asked if there are any known tenants. Mr. Bereket stated that he would defer the applicant to answer that question but the City understands a coffee shop would occupy one of the two kiosks. Mr. Slater asked if the kiosks would interfere with pedestrian accessibility or handicap path of travel. Mr. Bereket stated the locations of the kiosks are such they wouldn't interfere with pedestrian or handicap path of travel. Mr. Stafford stated he'd visited the site and stated the location of the kiosks would not interfere with path of travel. He stated the specific location of the kiosks is concrete pad in front of the building between existing stairway that leads to the second floor.

The applicant, Mr. Frank Lozano, briefly described the proposed kiosks. He stated Artist Café, a coffee shop slated to open this summer, would occupy one of the kiosks and no known tenants exist for the second kiosk. He also stated there is enough room to provide up to ten chairs. When asked if the location of the kiosks would interfere with path of travel, Mr. Lozano stated the kiosks are located in such that they don't interfere with path of travel. He also stated that a building permit

would be required to install the two kiosks. Mr. Kiser stated that the property owners have invested so much money into this property and the proposed kiosks would be great additions.

There being no more questions, the Chair asked for any motion to approve the project.

3. COMMENTS BY THE PUBLIC

MOTION / VOTE:

On motion of SPARC member Reyes, second by Commissioner Kiser, the request for Site Plan and Architectural Review Committee approved the proposed Kiosks at the Terra Bella Shopping Center located at 1110 West Kettleman Lane was approved, subject to the SPARC Common Design Requirements and Supplemental Conditions.

The vote was as follows:

- Ayes: Kiser, Reyes, Slater, Stafford and Chair Selleseth
- Noes:
- Absent:

4. ADJOURNMENT

There being no further business to come before the Site Plan and Architectural Review Committee, the meeting was adjourned at 5:45p.m.

ATTEST:

Immanuel Bereket
Associate Planner

**SITE PLAN AND ARCHITECTURAL
REVIEW COMMITTEE SPECIAL MEETING
CARNEGIE FORUM, 305 WEST PINE STREET
WEDNESDAY, JUNE 23, 2010
MINUTES**

1. CALL TO ORDER / ROLL CALL

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Absent: Committee Members – None

Also Present: Associate Planner Bereket.

2. MINUTES

- a) January 27, 2010 minutes approved, motion by Kiser, second by Slater. SPARC member Stafford abstained.

3. REVIEW ITEMS

- a) Request for Site Plan and Architectural Review Committee approval to construct two coffee kiosks at Terra Bella Plaza located at 1110 West Kettleman Lane. (Applicant: Mr. Frank Lozano, on behalf of Lodi Ranch Center LLC; File 10-SP-03)

Mr. Bereket presented and briefly described the design features of the proposed kiosks at the Terra Bella Shopping Center located at 1110 West Kettleman Lane. Mr. Bereket stated that the applicant proposes to construct two permanent kiosks. He indicated the kiosks would be nine (9) feet wide by ten (10) feet deep and would be approximately ten and half feet tall. Mr. Bereket further outlined that the kiosks would be painted to match the recently renovated shopping center, which consists of red and yellow walls with a dark gray roof canopy. He stated the kiosks would be placed on existing concrete pad in front of the building.

After staff's presentation, the Committee asked few questions about the project. SPARC member Slater asked if any landscape would be removed to accommodate the two kiosks. Mr. Bereket stated no landscaping or parking spaces would be removed. Mr. Bereket outlined the proposed location of the kiosks and stated the proposed location is currently concrete pad and is not used for any purpose. Commissioner Kiser asked about utility services. Mr. Bereket stated the kiosks would be permanent structures and would be connected to the City's water and wastewater mains. Electrical services would also be provided by the City. Mr. Kiser asked if there are any known tenants. Mr. Bereket stated that he would defer the applicant to answer that question but the City understands a coffee shop would occupy one of the two kiosks. Mr. Slater asked if the kiosks would interfere with pedestrian accessibility or handicap path of travel. Mr. Bereket stated the locations of the kiosks are such they wouldn't interfere with pedestrian or handicap path of travel. Mr. Stafford stated he'd visited the site and stated the location of the kiosks would not interfere with path of travel. He stated the specific location of the kiosks is concrete pad in front of the building between existing stairway that leads to the second floor.

The applicant, Mr. Frank Lozano, briefly described the proposed kiosks. He stated Artist Café, a coffee shop slated to open this summer, would occupy one of the kiosks and no known tenants exist for the second kiosk. He also stated there is enough room to provide up to ten chairs. When asked if the location of the kiosks would interfere with path of travel, Mr. Lozano stated the kiosks are located in such that they don't interfere with path of travel. He also stated that a building permit

would be required to install the two kiosks. Mr. Kiser stated that the property owners have invested so much money into this property and the proposed kiosks would be great additions.

There being no more questions, the Chair asked for any motion to approve the project.

3. COMMENTS BY THE PUBLIC

MOTION / VOTE:

On motion of SPARC member Reyes, second by Commissioner Kiser, the request for Site Plan and Architectural Review Committee approved the proposed Kiosks at the Terra Bella Shopping Center located at 1110 West Kettleman Lane was approved, subject to the SPARC Common Design Requirements and Supplemental Conditions.

The vote was as follows:

- Ayes: Kiser, Reyes, Slater, Stafford and Chair Selleseth
- Noes:
- Absent:

4. ADJOURNMENT

There being no further business to come before the Site Plan and Architectural Review Committee, the meeting was adjourned at 5:45p.m.

ATTEST:

Immanuel Bereket
Associate Planner

Item 3a



MEMORANDUM, City of Lodi, Community Development Department

To: Site Plan and Architectural Review Committee
From: Immanuel Bereket, Associate Planner, Community Development Department
Date: July 14, 2010
Subject: Request for Site Plan and Architectural Review Committee approval for façade improvements to an existing building located at 212 West Pine Street. (Applicant: Pine Street Partners LLC; File 10-SP-06).

RECOMMENDATION

Staff recommends the Site Plan and Architectural Review Committee approve the request of Pine Street Partners LLC for the proposed façade improvements at 212 West Pine Street, subject to the SPARC Common Design Requirements and Supplemental Conditions.

SUMMARY

The applicant, Pine Street Partners LLC, has submitted plans to rebuild the existing fascia of a vacant building at 212 West Pine Street, APN 043-032-03, by repainting the existing brick wall, add new cornice accent trims, new metal entrance canopy and retouching windows and doors in black anodized finishes. The subject property is located within the Lodi Downtown Business District and the proposed façade improvements require review and approval by the Site Plan and Review Architecture Committee.

BACKGROUND

The project site is located at 212 West Pine Street and is within the General Commercial zoning district (C-2) and is within the Downtown Business District. The site is designated in the General Plan as Downtown Mixed Use. Attachment 1 illustrates the location of the project, and Attachment 2 illustrates the existing building façade of the structure involved. The Lodi Municipal Code requires that any alteration to the exterior façade of a building in the downtown area must be approved through an Architectural Review Entitlement. The Architectural Review Entitlement must be reviewed and approved by Lodi Site Plan and Architecture Review Committee prior to any alteration occurs.

The subject building has been vacant for most of the last five years. It was briefly occupied by the Lodi Public Library last fall while the library was undergoing major renovations. The Building has been vacant since Lodi Library vacated the premise. The applicants, Della Monica Snyder Architects, are located at 222 W Lockeford St # 10, Lodi, CA 95240-2054. They recently purchased the property and plan to relocate at this location once they secure all the entitlement approvals required for the project, they plan to relocate at this location.

ANALYSIS

The applicant proposes to rebuild the existing fascia of 212 West Pine Street by repainting the existing brick walls to red, add new metal canopy painted black to match the existing windows and doors, remove existing awning located above windows and doors, and provide new cornice assembly with stucco finish to provide architectural interest (See Attachment #3). The proposed work is minor in scope and would create a substantial improvement to the façade of the structure. Considered together, the improvements are intended to integrate better with the Downtown Design Guidelines, creating a significantly enhanced street presence. Further, the proposed improvements complement the existing architecture of the building, and will help to revitalize the building that has been vacant for quite some time.

The proposed project does not alter pedestrian circulation, remove landscaping, or tamper with accessible ramps and other amenities. No signage has been proposed as part of this façade

improvement. All future signage would have to follow the Downtown Design Guidelines, which provide a balanced approach to achieve overall consistency in downtown area without sacrificing individuality for tenants to improve their businesses. The sign guidelines provide clear parameters as to the signs dimensions, location and type of lighting permitted. The storefront design guidelines emphasize the use of quality materials and design to make the stores and the overall center a success.

Staff believes the proposed building facade improvements maintain an appropriate building scale, mass, and proportion and are compatible with the architectural style and characteristics of the existing building and the surrounding neighborhood. The building exterior will be finished with both painted block walls and provide accent trims and columns which help to reduce bulk and massing. The proposed improvements do not include the use of extreme color—the applicant proposes to use tan/red paint for the brick walls and a dark color for the doors, window and canopy features. The colors will be compatible with the architectural style and characteristics of the existing building and the surrounding neighborhood. Further, no changes to the site layout are proposed. Changes to the building color are harmonious with the character of the neighborhood and with the existing building's architectural theme. The proposed modifications to the building elevations appear to enhance the neighborhood character and are compatible with adjacent development. Therefore, staff recommends that the Site Plan and Architectural Review Committee adopt the findings of this report and approve the proposed façade improvements to an existing building located at 212 West Pine Street, subject to SPARC Common Conditions and Supplemental Conditions.

SPARC COMMON CONDITIONS

1. All on and off-site improvements shall be installed as per Public Works, Utility and Fire Department requirements.
2. Building mounted signs shall be consistent with the City of Lodi sign regulations.
3. All building mounted lighting fixtures shall be contained within the property, and no spill over beyond the property shall be permitted.

The above requirements constitute a list of conditions most often required by the Site Plan and Architectural Review Committee (SPARC) in its review of plans. Staff's recommendations unique to the proposed office building are listed below in Supplemental Conditions.

SUPPLEMENTAL CONDITIONS

In addition to the Committee's Common Design Requirements, staff recommends approval of the request of the request of Pine Street Partners LLC for the proposed façade improvements at 212 West Pine Street, subject to the Supplemental Conditions.

1. The project proponent and/or successors in interest and management shall defend, indemnify and hold the City, its agents, officers, and employees harmless of any claims, action or proceeding against the City or its agents, officers, or employees to attack, set aside, void, or annul an approval of this SPARC application, so long as the City promptly notifies the project proponent of any claim, action or proceedings against the City and will cooperate fully in defense of the action or proceedings.
2. The project proponent shall submit appropriate plans to the Community Development Department for plan check and building permit. The plans shall include architectural features such as the colors, elevation including all other elements approved by the Site Plan and Architectural Committee. Any significant alteration to the site plan as approved by the Site Plan and Architectural Committee shall require an action by the Site Plan and Architectural Committee. Minor changes, however, may be approved subject to review and approval of the Community Development Director.
3. The developer/applicant shall construct and operate the project in strict compliance with the approvals granted herein, City standards, laws, and ordinances, and in compliance with all State and Federal laws, regulations, and standards. In the event of a conflict between City

laws and standards and a State or Federal law, regulation, or standard, the stricter or higher standard shall control.

4. Final exterior materials and colors shall be consistent with what is shown on the SPARC plans and be approved by the Community Development Director prior to issuance of building permit.
5. The subject site shall be maintained in a sanitary, litter-free, graffiti-free, and respectable appearance. Any damage or vandalism sustained to the property shall be repaired within a maximum of fourteen (14) days.
6. All signs shall be in strict compliance with the City of Lodi's Zoning Ordinances. All signage shall be subject to review and approval of the Community Development Director. All signage shall be individual channel letters or the equivalent. No exposed raceway shall be permitted with the signage. All identification signs shall require a building permit.
7. No flashing, moving, animated, temporary signs or banners shall not be permitted
8. Prior to reliance on this conditional approval, the applicant shall sign an affidavit, stating that the applicant has read, understands and will comply with the above conditions. This affidavit shall be returned to the City of Lodi Planning Division prior to issuance of a building permit.
9. The applicant shall remove the concrete patch cover for the tree well in front of the building and install a new tree. The new tree shall match existing tree species along Pine Street.
10. Any fee due the City of Lodi for processing this project shall be paid to the City within thirty (30) calendar days of final action by the approval authority. Failure to pay such outstanding fee within the time specified shall invalidate any approval or conditional approval granted. No permits, site work, or other actions authorized by this action shall be processed by the City, nor permitted, authorized or commenced until all outstanding fees are paid in full to the City.
11. Additional comments and conditions will be provided in conjunction with the approval of a building permit for this project.

Respectfully Submitted,

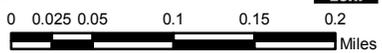
Concur,

Immanuel Bereket
Associate Planner

Konradt Bartlam
Community Development Director

EXHIBITS:

- A. Vicinity Map
- B. Existing Elevations
- C. Proposed Elevations
- D. Proposed Elevations



Vicinity Map
 212 West Pine Street
 APN: 043-032-03
 Lodi, CA 95240

Legend

 Project Site



EXISTING STREET ELEVATION

212 West Pine Street Building

Pine Street Partners, LLC

**DellaMonica
SNYDER**

ARCHITECT
222 W. Lockeford Street
Suite 10, Lock, CA 95240
209 347-0290 209 347-0288 fax
© 11.10



WEST PINE STREET ELEVATION

1/8"=1'-0"

212 West Pine Street Building

Pine Street Partners, LLC

**DellaMonica
SNYDER**

222 W. Lockeford Street
Suite 10, Lodi, CA 95240
209.367.0296 209.367.0288 fax
6/11/10



FACADE DETAIL
1/4"=1'-0"

WALL SECTION
1/4"=1'-0"

212 West Pine Street Building

Pine Street Partners, LLC

**DellaMonica
SNYDER**

A.A.A.A.A.A.A.A.
 222 W. Lockeford Street
 Suite 10, Lodi, CA 95240
 209.347.0296 209.347.4289 fax
 6-14-10

Item 3b.



MEMORANDUM, City of Lodi, Community Development Department

To: Site Plan and Architectural Review Committee
From: Immanuel Bereket, Associate Planner, Community Development Department
Date: July 14, 2010
Subject: Request Site Plan and Architectural Review Committee approval of the site plan and architecture of the proposed Surface Water Treatment Facility (Applicant: Public Works Department; File 10-SP-07).

RECOMMENDATION

Staff recommends the Site Plan and Architecture Review Committee approve the request of the Public Works Department for the site design and architecture of the proposed Surface Water Treatment Facility located at 903 West Turner Road, subject to Supplemental Conditions outlined below.

SUMMARY

The City intends to construct Surface Water Treatment Plan Facilities (SWTF) to provide treated water to supplement its underground water supply. The SWTF involves the construction of four buildings varying in sizes, a three-million-gallon water storage tank, a silo, piping, a fence and gate for security and screening purposes. The facility would have three vehicular gates: the main entrance, delivery entrance, and utility entrance. The material of the buildings consists of ground face concrete masonry, bricks, fluted-face concrete masonry, composite panel siding, and standing seam metal roofing in red colors. Evergreen trees would be placed along the fence line facing the future park. Construction is anticipated to commence in Spring of 2011.

BACKGROUND

The City of Lodi and the majority of the area surrounding Lodi rely on groundwater as their source of domestic water supply. The City provides water to its customers from a series of 27 wells drawing on 150 foot to 500 foot deep aquifers. As part of a regional effort to stabilize the groundwater basin, the City plans to reduce its groundwater pumping. To achieve this goal, the City contracted with Woodbridge Irrigation District (WID) in May 2003 to purchase 6,000 acre-feet per year (AFY) of WID's pre-1914 Mokelumne River water entitlement for a period of 40 years.

The City plans to construct Surface Water Treatment Plan Facilities (SWTF) to treat river water for municipal uses. The SWTF is proposed as part of a conjunctive use program that would integrate surface water and groundwater management. The surface water component would be the WID water that would be delivered to the SWTF for treatment and distribution to the City. The groundwater component would be well water that is currently pumped for distribution to the City. With the implementation of the SWTF, the City would pump less groundwater and the groundwater levels would be allowed to recover by in-lieu (natural) recharge. No new or expanded water supplies or entitlements would be required under or as a result of the proposed project beyond those already obtained.

ANALYSIS

The City owns 12.75 acres of vacant land between the Union Pacific Railroad (UPRR) spur line and Lodi Lake near the intersection Turner Road and Lower Sacramento Road. The SWTF would be constructed on approximately four acres at the south end of the property adjacent to the UPRR line (see attachment #3). Entrance to the facility would be provided from an access road located at the north leg of the intersection of Turner Road and north Mills Avenue. Water would be pumped from the River to the facility. The pump station would be constructed west side of Lower Sacramento Road across from Woodbridge Irrigation District (WID), on vacant land currently owned by the WID.

The Flood Insurance Rate Map (FIRM) for the project area places the SWTF in Zone X, which is defined as an area of minimal flood hazard and above the 500-year flood level and protected by a levee from the 100-year flood event.

The Surface Water Treatment Plan Facilities (SWTF) involves the construction of four buildings varying in sizes, a three-million-gallon water storage tank, a silo, pipings, a fence and gate for security and screening purposes. The largest building, Operations Building, would house laboratory, administration and operations offices. The second, Chemical Building, would house a workshop, chemical storage and other essentials required to operate the facility. The third building, Pump Station Building, would contain service pumps and electrical room. The last building would contain some operations and also would be used as a storage. In addition to buildings, the facility would also include waste tank, sedimentation basin, and the main storage tank. Electrical services would be provided by the City of Lodi Electric Utility Department. There would also be a standby generator to operate critical systems. A larger standby diesel engine generator is planned for the future to provide power to the SWTF in case of power outage. Construction is expected to take approximately 18-24 months and construction is anticipated to commence in 2011.

As illustrated on the site plan, the Operations Building would be located on the east side of the SWTF site, near the entrance point in order to minimize visitor traffic on the site. The storage tank, the silo, and the pump station would be placed on the southeastern portion of the site, which would minimize their visual impact from adjacent areas. Existing trees on the Turner Road would screen the southern elevations. The storage tank would be partially buried to minimize its visual impact. The sedimentation basin would be located along the northwest property line. Decorative fencing would be constructed where the SWTF is exposed to the park or adjacent streets. On the side facing the railroad track, one-inch chain-link fencing, eight feet in height topped with three strands of barbed wire would be placed. The facility would have three vehicular gates: the main entrance, delivery entrance, and utility entrance. The main and delivery entrances would be motorized. The utility entrance would be manual since it would be used infrequently.

Architecturally, the buildings are similar to each other, forming a cohesive and uniform appearance. All the buildings are single-story structures of eighteen (18) feet in height to the top of the flat roof. The bodies of the buildings use ground face concrete masonry, bricks, fluted-face concrete masonry, composite panel siding, and standing seam metal roofing in red colors. The designs call for columns and metal fascia accent trims to provide architectural interests to break up any mass appearance. Doors and windows are also provide further interest. The roof is composed of standing seam metal roofing. The overall finishing color of the mass of buildings is earth light brown with red roof.

Landscaping within the facility would be kept to the perimeter to screen the SWTF and to minimize maintenance. Evergreen trees would be placed along the fence line facing the future park. Sixteen oak trees and one black locust would be removed to accommodate the construction of the facility. The trees removed would be mitigated with replacement oak trees to be planted in the future park at rate of four (4) to one (1). The Mitigated Negative Declaration prepared for the project indicated the project could be a source of permanent lighting glare and has proposed mitigation measures to reduce lighting glare. In addition to the proposed mitigation measures, City staff feels that all light poles should be limited to height of twenty-five (25) feet to minimize glare to adjacent properties. Further, all exterior light fixtures on the face of the buildings must include a 90-degree horizontal flat cut-off lens unless the fixture is for decorative purposes. Further, the project should be screened by a minimum eight (8) foot high decorative masonry wall where the facility is visible to the public instead of wrought iron the plans illustrate. In addition, all setback areas adjacent to the park, Turner Road, and Mills Avenue must be landscaped with a combination of trees, shrubs and groundcover. Staff feels these are standard requirements that would be of required of the private sector and these standards must apply to a public project such as this.

Overall, staff is pleased with the project and we recommend approval with additions/modifications noted below. We feel that this project is necessary in order to reduce dependence on ground water

and offers regional as well as local benefit. Staff believes that the proposed request for a SPARC review and approval of the site plan, subject to the conditions in the attached SPARC and Supplemental Conditions, meets the requirements of the Zoning Ordinance and is consistent with the General Plan. Therefore, staff recommends the Site Plan and Architecture Committee recommend that the Lodi City Council approve the project, subject to the conditions outlined below.

SUPPLEMENTAL CONDITIONS

Staff recommends approval of the of request of Lodi Public Works Department to construct Surface Water Treatment Facility at 903 West Turner Road, subject to the Supplemental Conditions.

1. A photometric exterior lighting plan and fixture specification shall be submitted for review and approval of the Community development Director prior to the issuance of any building permit. Said plans and specification shall address the following:
 - a) All project lighting shall be confined to the premises. No spillover beyond the property line is permitted.
 - b) The equivalent of one (1) foot-candle of illumination shall be maintained throughout the parking area.
 - c) All parking light fixtures shall be a maximum of twenty-five 25 feet in height.
 - d) All fixtures shall be consistent throughout the center.
2. Exterior lighting fixtures on the face of the buildings shall be consistent with the theme of the center. No wallpacks or other floodlights shall be permitted. All building mounted lighting shall have a 90-degree horizontal flat cut-off lens unless the fixture is for decorative purposes.
3. The project should be screened by a minimum eight (8) foot high decorative masonry wall where the facility is visible to the public. In addition, all setback areas adjacent to the park, Turner Road, and Mills Avenue shall be landscaped with a combination of trees, shrubs and groundcover.
4. No wrought iron fencing shall be permitted on the exterior of the project site.
5. Any oak tree removed shall be replaced at rate of four (4) to one (1).
6. Additional comments and conditions will be provided in conjunction with the approval of a building permit for this project.

Respectfully Submitted,

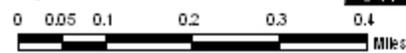
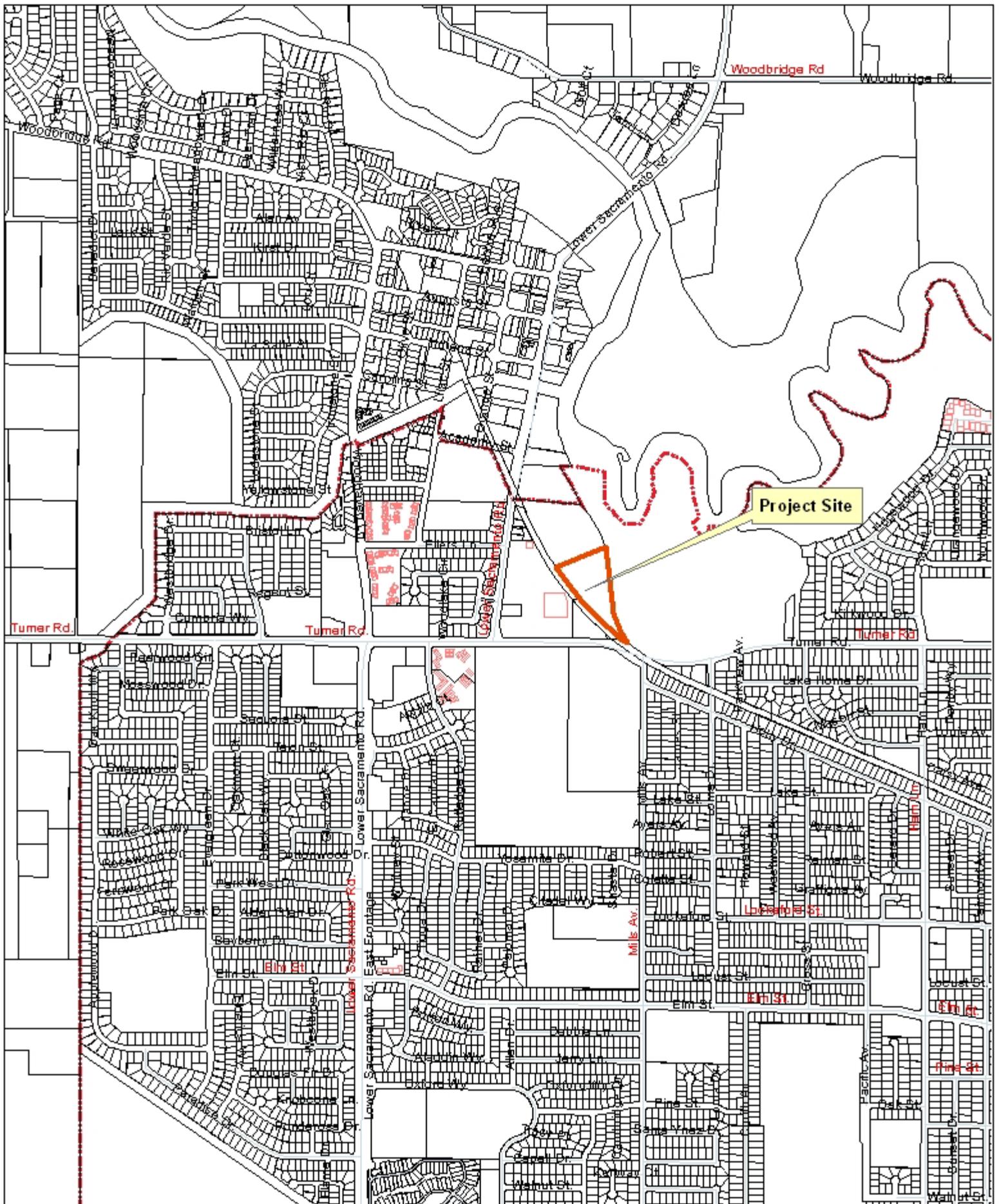
Concur,

Immanuel Bereket
Associate Planner

Konradt Bartlam
Community Development Director

EXHIBITS:

- A. Vicinity Map
- B. Aerial Map
- C. Site Plan
- D. Material and Color Pallet
- E. Proposed Elevations



Vicinity Map
 903 West Turner Road
 APN: 015-230-15
 Lodi, CA 95240

Legend

 Project Site



Project Site



0 0.035 0.07 0.14 0.21 0.28 Miles

AERIAL MAP
 903 West Turner Road
 APN: 015-230-15
 Lodi, CA 95240

Legend

 Project Site



PLAN
1" = 100'



HDR Engineering, Inc.

ISSUE	DATE	DESCRIPTION
3	06/2010	90% DESIGN REVIEW
2	04/2010	60% DESIGN REVIEW
1	01/2010	30% DESIGN REVIEW

PROJECT MANAGER	R. STRATTON
DESIGNED BY	K. HENDERSON
DRAWN BY	D. CORNELL
CHECKED BY	
DATE	JUNE 2010
PROJECT NUMBER	343957-131898



NOT FOR CONSTRUCTION



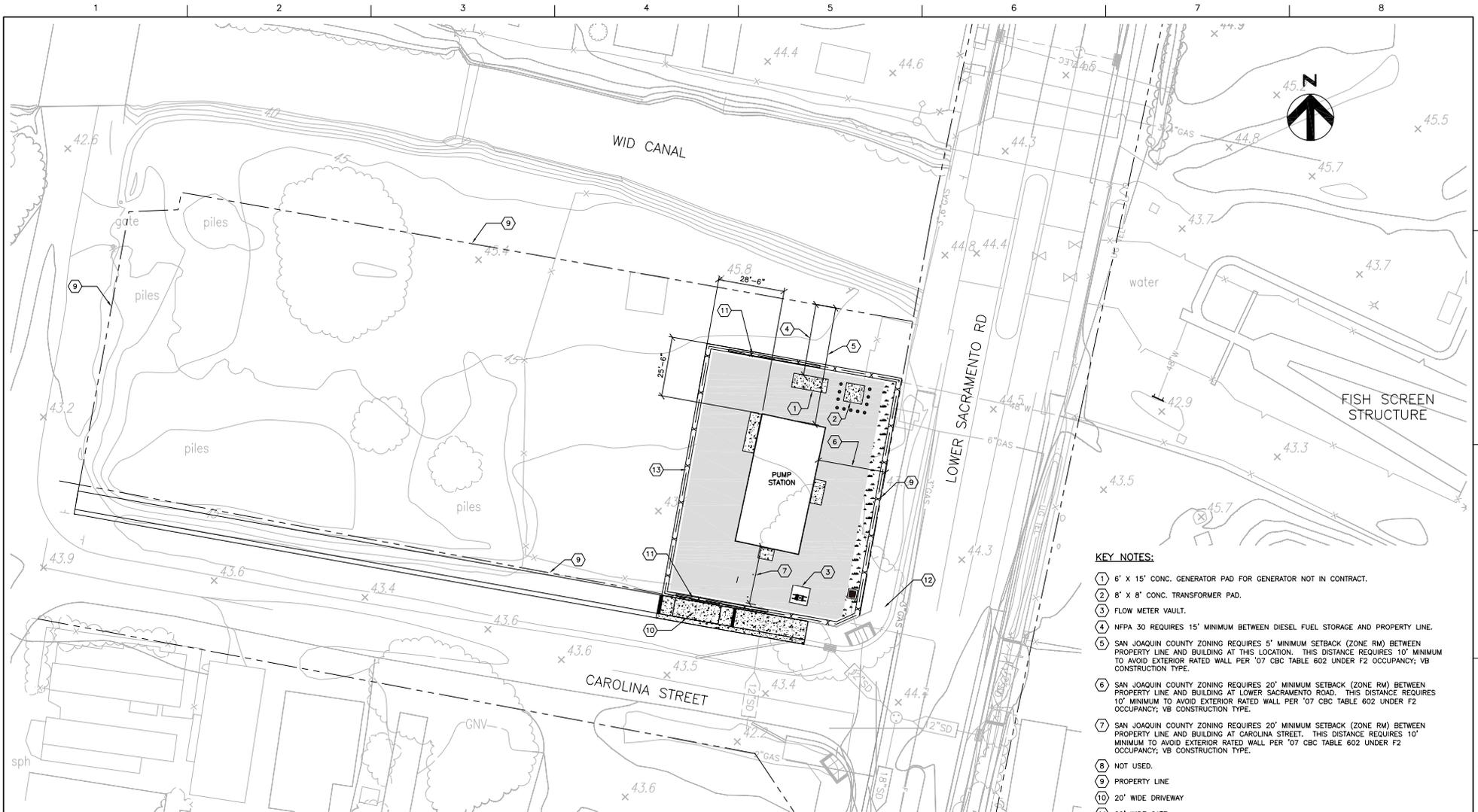
CITY OF LODI
SURFACE WATER TREATMENT FACILITY

KEY PLAN



FILENAME	131898-C-01.dwg
SCALE	1" = 100'

DRAWING
C01



KEY NOTES:

- ① 6' x 15' CONC. GENERATOR PAD FOR GENERATOR NOT IN CONTRACT.
- ② 8' x 8' CONC. TRANSFORMER PAD.
- ③ FLOW METER VAULT.
- ④ NFPA 30 REQUIRES 15' MINIMUM BETWEEN DIESEL FUEL STORAGE AND PROPERTY LINE.
- ⑤ SAN JOAQUIN COUNTY ZONING REQUIRES 5' MINIMUM SETBACK (ZONE RM) BETWEEN PROPERTY LINE AND BUILDING AT THIS LOCATION. THIS DISTANCE REQUIRES 10' MINIMUM TO AVOID EXTERIOR RATED WALL PER '07 CBC TABLE 602 UNDER F2 OCCUPANCY; VB CONSTRUCTION TYPE.
- ⑥ SAN JOAQUIN COUNTY ZONING REQUIRES 20' MINIMUM SETBACK (ZONE RM) BETWEEN PROPERTY LINE AND BUILDING AT LOWER SACRAMENTO ROAD. THIS DISTANCE REQUIRES 10' MINIMUM TO AVOID EXTERIOR RATED WALL PER '07 CBC TABLE 602 UNDER F2 OCCUPANCY; VB CONSTRUCTION TYPE.
- ⑦ SAN JOAQUIN COUNTY ZONING REQUIRES 20' MINIMUM SETBACK (ZONE RM) BETWEEN PROPERTY LINE AND BUILDING AT CAROLINA STREET. THIS DISTANCE REQUIRES 10' MINIMUM TO AVOID EXTERIOR RATED WALL PER '07 CBC TABLE 602 UNDER F2 OCCUPANCY; VB CONSTRUCTION TYPE.
- ⑧ NOT USED.
- ⑨ PROPERTY LINE
- ⑩ 20' WIDE DRIVEWAY
- ⑪ 20' WIDE GATE
- ⑫ PUBLIC SIDEWALK
- ⑬ BLACK WROUGHT IRON FENCE.

CODE PLAN

1" = 20'



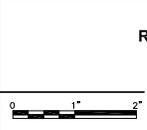
ISSUE	DATE	DESCRIPTION
3	06/2010	90% DESIGN REVIEW
2	04/2010	60% DESIGN REVIEW
1	01/2010	30% DESIGN REVIEW

PROJECT MANAGER	R. STRATON
DESIGNED BY	M. LAMBERT
DRAWN BY	M. MENDOZA
CHECKED BY	
DATE	JUNE 2010
PROJECT NUMBER	343957-131898

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NOT FOR CONSTRUCTION



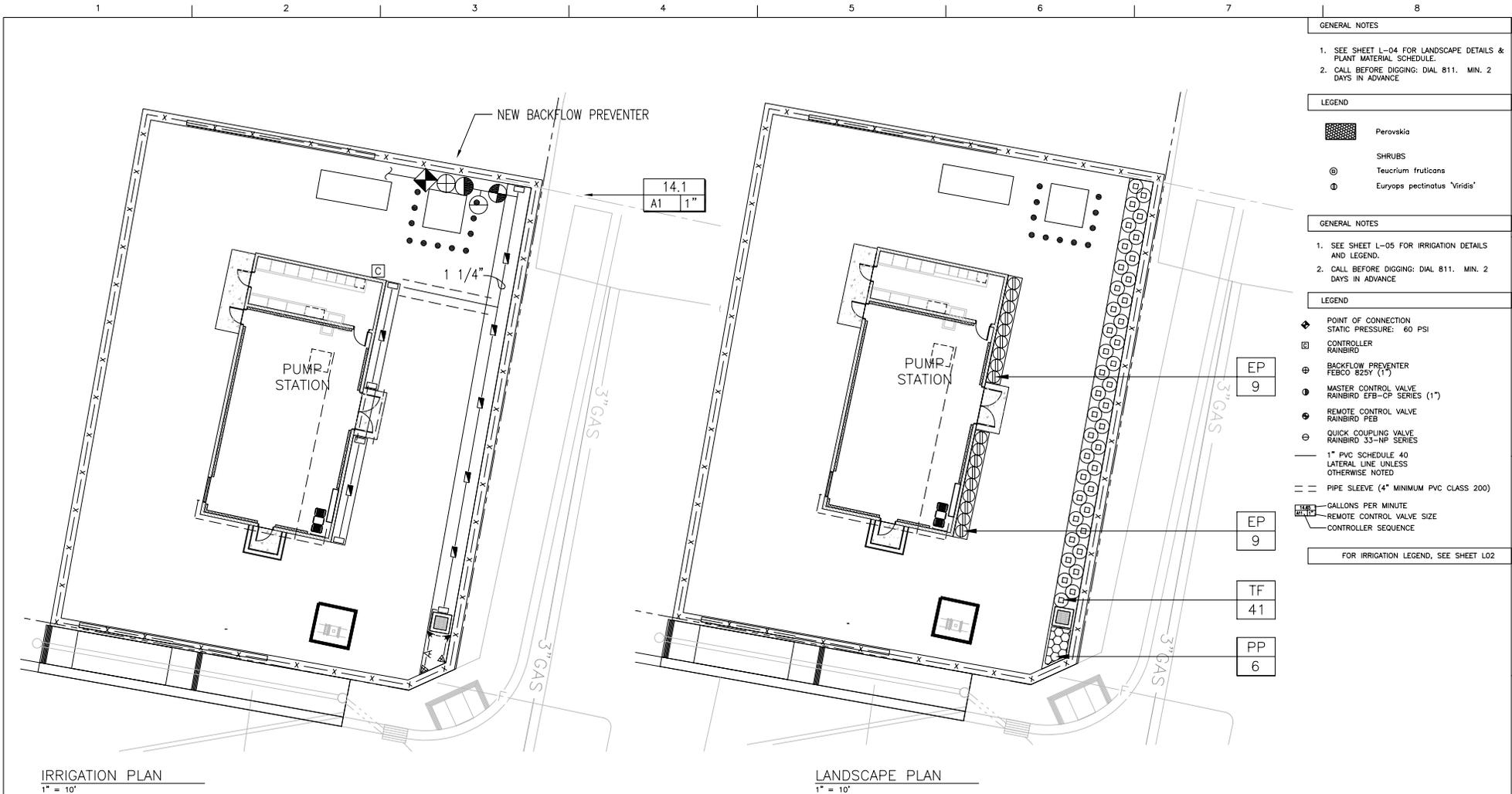
CITY OF LODI
SURFACE WATER
TREATMENT FACILITY



FILENAME	131898-A002.dwg
SCALE	1" = 20'

DRAWING
A002

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GENERAL NOTES

- SEE SHEET L-04 FOR LANDSCAPE DETAILS & PLANT MATERIAL SCHEDULE.
- CALL BEFORE DIGGING: DIAL 811. MIN. 2 DAYS IN ADVANCE

LEGEND

- Perovskia
- SHRUBS
- Teucrium fruticosum
- Euryops pectinatus 'Vividis'

GENERAL NOTES

- SEE SHEET L-05 FOR IRRIGATION DETAILS AND LEGEND.
- CALL BEFORE DIGGING: DIAL 811. MIN. 2 DAYS IN ADVANCE

LEGEND

- POINT OF CONNECTION
- STATIC PRESSURE: 60 PSI
- CONTROLLER
- RAINBIRD
- BACKFLOW PREVENTER
- FEBCO 825Y (1")
- MASTER CONTROL VALVE
- RAINBIRD EFB-CP SERIES (1")
- REMOTE CONTROL VALVE
- RAINBIRD FEB
- QUICK COUPLING VALVE
- RAINBIRD 33-NP SERIES
- 1" PVC SCHEDULE 40
- LATERAL LINE UNLESS OTHERWISE NOTED
- PIPE SLEEVE (4" MINIMUM PVC CLASS 200)
- GALLONS PER MINUTE
- REMOTE CONTROL VALVE SIZE
- CONTROLLER SEQUENCE

FOR IRRIGATION LEGEND, SEE SHEET L02

IRRIGATION PLAN
1" = 10'

LANDSCAPE PLAN
1" = 10'



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ISSUE	DATE	DESCRIPTION
3	06/2010	90% DESIGN REVIEW
2	04/2010	60% DESIGN REVIEW
1	01/2010	30% DESIGN REVIEW

PROJECT MANAGER R. STRATON
 DESIGNED BY H. HABIG
 DRAWN BY
 CHECKED BY G. LAI
 CHECKED BY
 DATE JUNE 2010
 PROJECT NUMBER 343957-131898



PRELIMINARY
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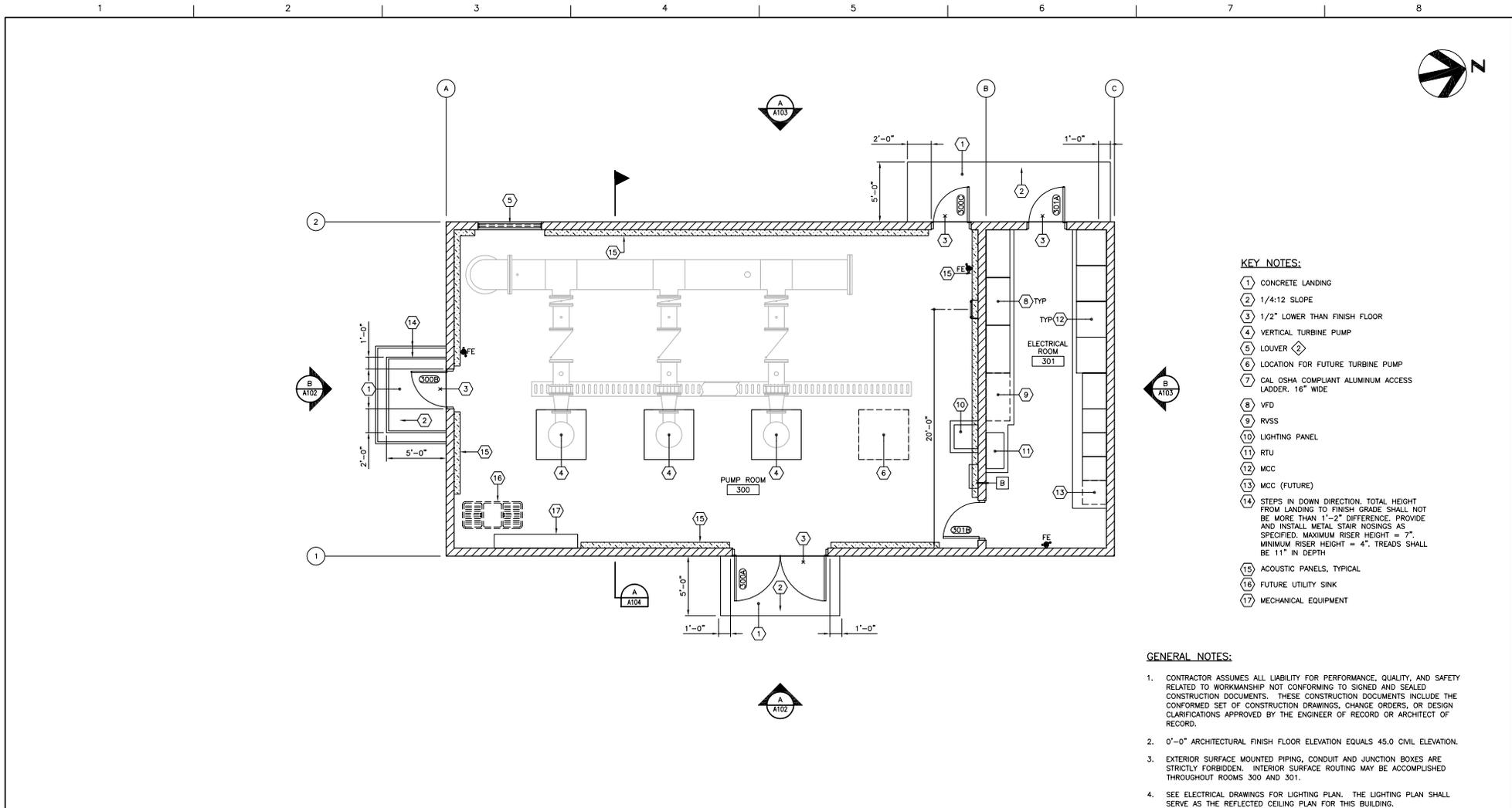
CITY OF LODI
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TREATMENT FACILITY

RAW WATER PUMP STATION
LANDSCAPE AND IRRIGATION PLANS



FILENAME 131898-L-03.dwg
 SCALE 1" = 20'

DRAWING
L03



- KEY NOTES:**
- 1 CONCRETE LANDING
 - 2 1/4:12 SLOPE
 - 3 1/2" LOWER THAN FINISH FLOOR
 - 4 VERTICAL TURBINE PUMP
 - 5 LOUVER
 - 6 LOCATION FOR FUTURE TURBINE PUMP
 - 7 CAL OSHA COMPLIANT ALUMINUM ACCESS LADDER. 16" WIDE
 - 8 VFD
 - 9 RVSS
 - 10 LIGHTING PANEL
 - 11 RTU
 - 12 MCC
 - 13 MCC (FUTURE)
 - 14 STEPS IN DOWN DIRECTION. TOTAL HEIGHT FROM LANDING TO FINISH GRADE SHALL NOT BE MORE THAN 1'-2" DIFFERENCE. PROVIDE AND INSTALL METAL STAIR NOSINGS AS SPECIFIED. MAXIMUM RISER HEIGHT = 7". MINIMUM RISER HEIGHT = 4". TREADS SHALL BE 11" IN DEPTH
 - 15 ACOUSTIC PANELS, TYPICAL
 - 16 FUTURE UTILITY SINK
 - 17 MECHANICAL EQUIPMENT

- GENERAL NOTES:**
1. CONTRACTOR ASSUMES ALL LIABILITY FOR PERFORMANCE, QUALITY, AND SAFETY RELATED TO WORKMANSHIP NOT CONFORMING TO SIGNED AND SEALED CONSTRUCTION DOCUMENTS. THESE CONSTRUCTION DOCUMENTS INCLUDE THE CONFORMED SET OF CONSTRUCTION DRAWINGS, CHANGE ORDERS, OR DESIGN CLARIFICATIONS APPROVED BY THE ENGINEER OF RECORD OR ARCHITECT OF RECORD.
 2. 0'-0" ARCHITECTURAL FINISH FLOOR ELEVATION EQUALS 45.0 CIVIL ELEVATION.
 3. EXTERIOR SURFACE MOUNTED PIPING, CONDUIT AND JUNCTION BOXES ARE STRICTLY FORBIDDEN. INTERIOR SURFACE ROUTING MAY BE ACCOMPLISHED THROUGHOUT ROOMS 300 AND 301.
 4. SEE ELECTRICAL DRAWINGS FOR LIGHTING PLAN. THE LIGHTING PLAN SHALL SERVE AS THE REFLECTED CEILING PLAN FOR THIS BUILDING.
 5. SEE CIVIL DRAWINGS FOR PROCESS PIPING ABOVE AND BELOW GRADE.
 6. FOR KEYNOTES 4 AND 6, SEE PROCESS PLANS FOR PRECISE LOCATIONS.
 7. FOR KEYNOTE 14, PROVIDE CONTRASTING 2" WIDE PAINT STRIPE AT NOSING. DO NOT PAINT METAL ABRASIVE NOSING.

FLOOR PLAN
1/4" = 1'-0"



ISSUE	DATE	DESCRIPTION
3	06/2010	90% DESIGN REVIEW
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PROJECT MANAGER	R. STRATTON
DESIGNED BY	M. LAMBERT
DRAWN BY	M. MENDOZA
CHECKED BY	
CHECKED BY	
DATE	JUNE 2010
PROJECT NUMBER	343957-131898

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NOT FOR CONSTRUCTION



CITY OF LODI
SURFACE WATER TREATMENT FACILITY

RAW WATER PUMP STATION FLOOR PLAN

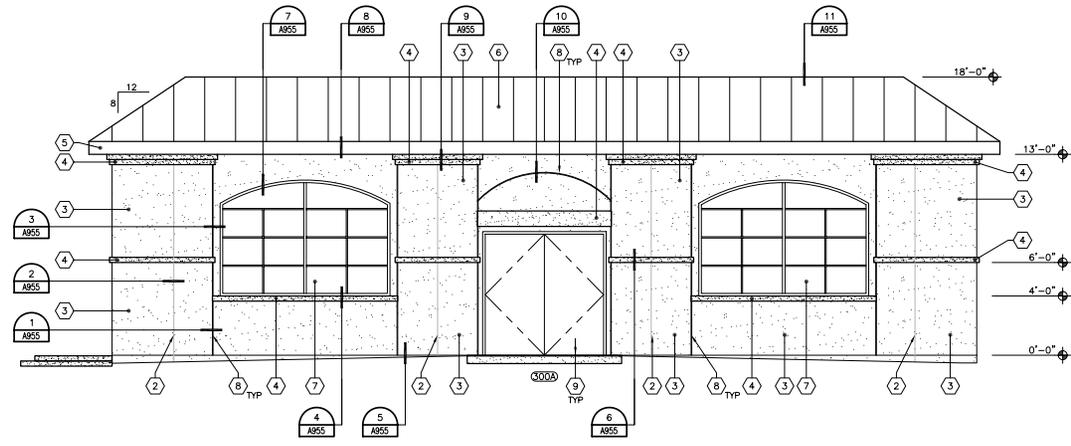
0 1" 2"

FILENAME 131898-A100.dwg
SCALE 1/4" = 1'-0"

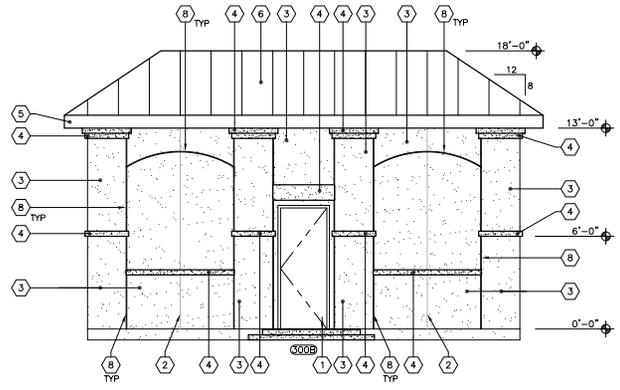
DRAWING
A100

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1 2 3 4 5 6 7 8



LOWER SACRAMENTO ELEVATION
1/4" = 1'-0"



CAROLINA ELEVATION
1/4" = 1'-0"

KEYNOTES:

- ① LANDING WITH STEPS. SEE SHEET A100 AND STRUCTURAL DRAWINGS.
- ② MASONRY CONTROL JOINT
- ③ PORTLAND CEMENT PLASTER OVER METAL LATH OVER CONCRETE MASONRY
- ④ PRECAST CONCRETE TRIM
- ⑤ METAL FASCIA
- ⑥ STANDING SEAM METAL ROOF
- ⑦ PORTLAND CEMENT PLASTER OVER METAL LATH WITH A WINDOW MULLION 1" REVEAL. PATTERN AS SHOWN.
- ⑧ 1" REVEAL
- ⑨ CONCRETE LANDING



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1	01/2010	30% DESIGN REVIEW

PROJECT MANAGER	R. STRATTON
DESIGNED BY	M. LAMBERT
DRAWN BY	M. HERSEVOORT
CHECKED BY	
DATE	JUNE 2010
PROJECT NUMBER	343957-131898

PRELIMINARY
NOT FOR CONSTRUCTION



CITY OF LODI
SURFACE WATER TREATMENT FACILITY

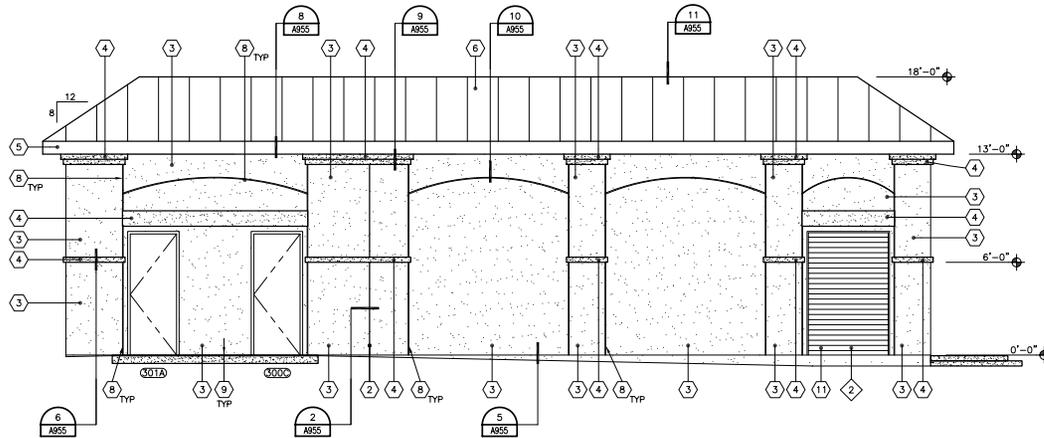


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SCALE	1/4" = 1'-0"

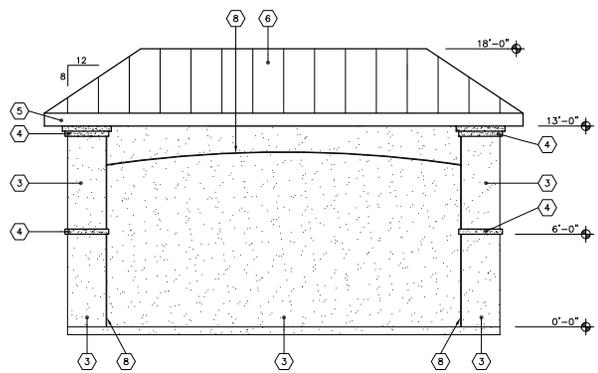
DRAWING
A102

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1 2 3 4 5 6 7 8



NORTH ELEVATION
1/4" = 1'-0"



EAST ELEVATION
1/4" = 1'-0"

- KEYNOTES:**
- (1) NOT USED
 - (2) MASONRY CONTROL JOINT
 - (3) PORTLAND CEMENT PLASTER OVER METAL LATH OVER CONCRETE MASONRY
 - (4) PRECAST CONCRETE TRIM
 - (5) METAL FASCIA
 - (6) STANDING SEAM METAL ROOF
 - (7) NOT USED
 - (8) 1" REVEAL
 - (9) CONCRETE LANDING
 - (10) PROCESS PIPE
 - (11) LOUVER



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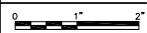
ISSUE	DATE	DESCRIPTION
3	06/2010	90% DESIGN REVIEW
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1	01/2010	30% DESIGN REVIEW

PROJECT MANAGER	R. STRATTON
DESIGNED BY	M. LAMBERT
DRAWN BY	M. HERSEVOORT
CHECKED BY	
DATE	JUNE 2010
PROJECT NUMBER	343957-131898

PRELIMINARY
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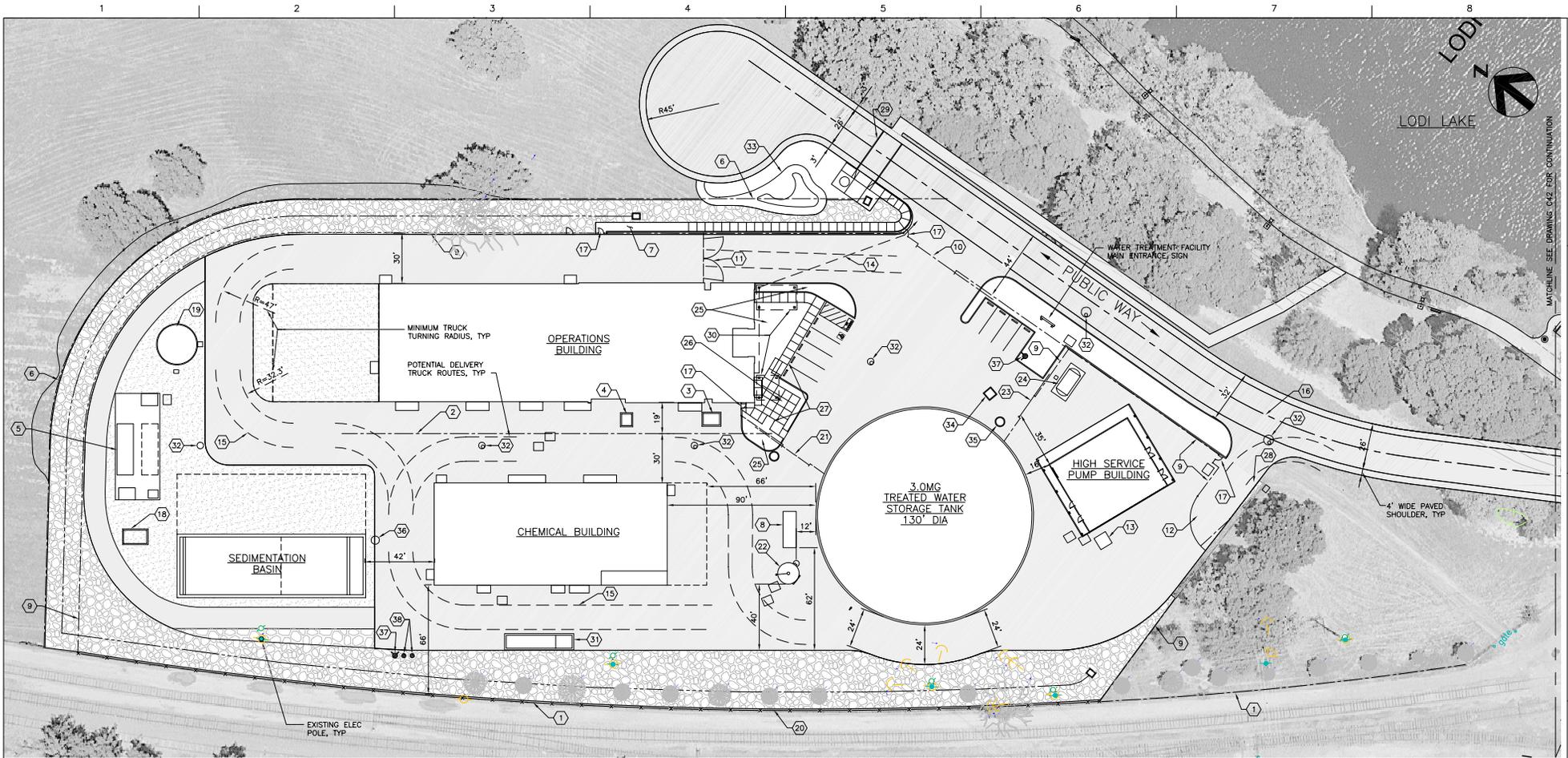
CITY OF LODI
SURFACE WATER TREATMENT FACILITY



FILENAME: 131898-A103.dwg
SCALE: 1/4" = 1'-0"

DRAWING
A103

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KEY NOTES:

- | | | | | |
|---|---|---|---|---|
| 1 REAL PROPERTY LINE | 9 PICKET IRON FENCE | 17 PEDESTRIAN EGRESS GATE WITH PANIC HARDWARE, CLOSER AND LATCH GUARD | 25 LANDSCAPE AREA | 33 PAVED WALKWAY |
| 2 ASSUMED PROPERTY LINE BETWEEN CHEMICAL BUILDING AND OPERATIONS BUILDING | 10 28 FOOT WIDE ROLLING GATE FOR VEHICLE ACCESS | 18 PRETREATMENT CHEMICAL INJECTION VAULT UNDERGROUND | 26 OUTDOOR EATING AREA | 34 TANK OVERFLOW VAULT |
| 3 FLOW METER VAULT UNDERGROUND | 11 24 FOOT WIDE SWING GATE FOR TRUCK EXIT ACTIVATED BY LOOP | 19 REVERSE FILTRATION WASTE TANK | 27 WALKWAY | 35 DRAINAGE PUMP STATION |
| 4 FILTRATE CHEMICAL INJECTION VAULT UNDERGROUND | 12 24 FOOT WIDE SWING GATE FOR TRUCK ENTRANCE | 20 STEEL FENCE, SEE CIVIL DRAWINGS | 28 KNOX BOX LOCATION 40" ABOVE FINISH GRADE ON FENCE | 36 SEDIMENTATION RESIDUALS PUMP STATION |
| 5 REVERSE FILTRATION COMPLEX | 13 TRANSFORMER | 21 24 FOOT WIDE ROLLING GATE FOR VEHICLE ACCESS | 29 PAINTED CROSSWALK ADA COMPLIANT. SEE CIVIL DRAWING | 37 FIRE HYDRANT |
| 6 ASSUMED PROPERTY LINE | 14 EGRESS PATH TO PUBLIC WAY. TRAVEL DISTANCE = 146' | 22 SODA ASH SILO AND FEED LOCATION | 30 LANDSCAPE STRUCTURES. SEE CIVIL DRAWING | 38 FIRE DEPARTMENT CONNECTIONS |
| 7 ADA COMPLIANT CONCRETE EGRESS RAMP | 15 FIRE TRUCK AND DELIVERY TRUCK ACCESS ROUTE, TYPICAL | 23 16 FOOT ROLLING GATE FOR EQUIPMENT ACCESS | 31 LOADING/UNLOADING DOCK | |
| 8 STANDBY DIESEL GENERATOR | 16 ASSUMED PROPERTY LINE IN THE CENTER OF PUBLIC WAY | 24 HYDROPNUMATIC TANK | 32 MANHOLE | |

GENERAL NOTE:

- RELATED TO '07 CBC TABLE 704.8, NON-PROTECTED OPENINGS ALONG SOUTHWEST EXTERIOR WALL ARE LESS THAN 45% OF WALL SURFACE. SEE SHEET A010. LIMITATION APPLIES WITH RESPECT TO DISTANCE BETWEEN EXTERIOR WALL AND ASSUMED IMAGINARY PROPERTY LINE BETWEEN OPERATIONS BUILDING AND CHEMICAL BUILDING.

PLAN
1" = 30'



HDR Engineering, Inc.

ISSUE	DATE	DESCRIPTION
3	06/2010	90% DESIGN REVIEW
2	04/2010	60% DESIGN REVIEW
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PROJECT MANAGER	R. STRATTON
DESIGNED BY	M. LAMBERT
DESIGNED BY	M. LAMBERT
DRAWN BY	M. MENDOZA
CHECKED BY	
CHECKED BY	
DATE	JUNE 2010
PROJECT NUMBER	343957-131898

PRELIMINARY
NOT FOR CONSTRUCTION



CITY OF LODI
SURFACE WATER TREATMENT FACILITY

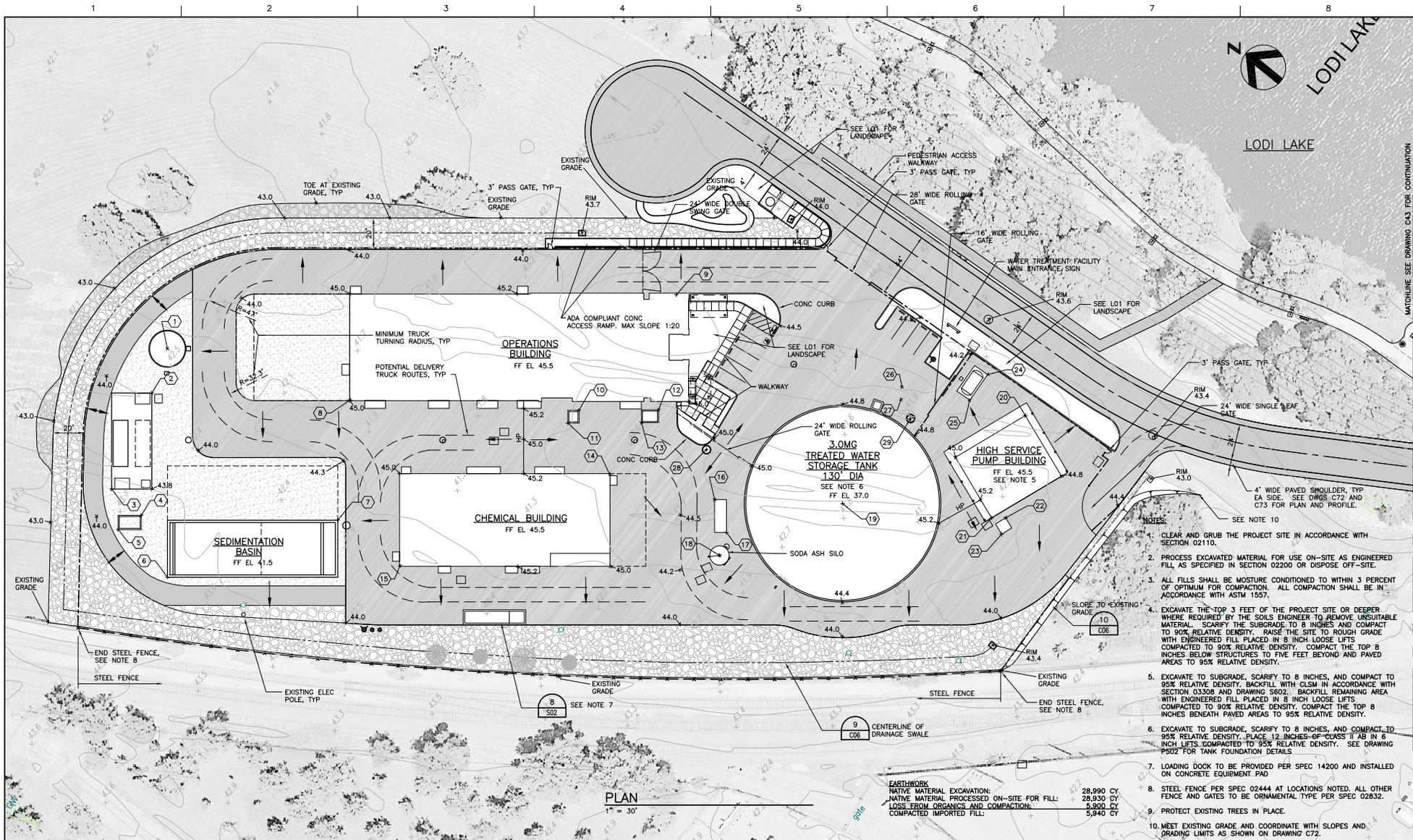


PLANT SITE CODE

FILENAME	131898-A012.dwg
SCALE	1" = 30'

DRAWING
A012

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- NOTES:**
1. CLEAR AND GRUB THE PROJECT SITE IN ACCORDANCE WITH SECTION 02110.
 2. PROCESS EXCAVATED MATERIAL FOR USE ON-SITE AS ENGINEERED FILL AS SPECIFIED IN SECTION 02200 OR DISPOSE OFF-SITE.
 3. ALL FILLS SHALL BE MOISTURE CONDITIONED TO WITHIN 3 PERCENT OF OPTIMUM FOR COMPACTION. ALL COMPACTION SHALL BE IN ACCORDANCE WITH ASTM 1557.
 4. EXCAVATE THE TOP 3 FEET OF THE PROJECT SITE OR DEEPER WHERE REQUIRED BY THE SOILS ENGINEER TO REMOVE UNSUITABLE MATERIAL. SCARIFY THE SUBGRADE TO 8 INCHES AND COMPACT TO 90% RELATIVE DENSITY. RAISE THE SITE TO ROUGH GRADE WITH ENGINEERED FILL PLACED IN 8 INCH LOOSE LIFTS COMPACTED TO 90% RELATIVE DENSITY. COMPACT THE TOP 8 INCHES BELOW STRUCTURES TO FIVE FEET BEYOND AND PAVED AREAS TO 95% RELATIVE DENSITY.
 5. EXCAVATE TO SUBGRADE, SCARIFY TO 8 INCHES, AND COMPACT TO 95% RELATIVE DENSITY. BACKFILL WITH CLSM IN ACCORDANCE WITH SECTION 03308 AND DRAWING 5602. BACKFILL REMAINING AREA WITH ENGINEERED FILL PLACED IN 8 INCH LOOSE LIFTS COMPACTED TO 90% RELATIVE DENSITY. COMPACT THE TOP 8 INCHES BENEATH PAVED AREAS TO 95% RELATIVE DENSITY.
 6. EXCAVATE TO SUBGRADE, SCARIFY TO 8 INCHES, AND COMPACT TO 95% RELATIVE DENSITY. PLACE 12 INCHES OF CLASS II AB IN 6 INCH LIFTS COMPACTED TO 95% RELATIVE DENSITY. SEE DRAWING 5502 FOR TANK FOUNDATION DETAILS.
 7. LOADING DOCK TO BE PROVIDED PER SPEC 14200 AND INSTALLED ON CONCRETE EQUIPMENT PAD.
 8. STEEL FENCE PER SPEC 02444 AT LOCATIONS NOTED. ALL OTHER FENCE AND GATES TO BE ORNAMENTAL TYPE PER SPEC 02832.
 9. PROTECT EXISTING TREES IN PLACE.
 10. MEET EXISTING GRADE AND COORDINATE WITH SLOPES AND GRADING LIMITS AS SHOWN ON DRAWING C72.

PLAN
1" = 30'

EARTHWORK

NATIVE MATERIAL EXCAVATION:	28,990 CY
NATIVE MATERIAL PROCESSED ON-SITE FOR FILL:	28,930 CY
LOSS FROM ORGANICS AND COMPACTION:	5,800 CY
COMPACTED IMPORTED FILL:	5,940 CY



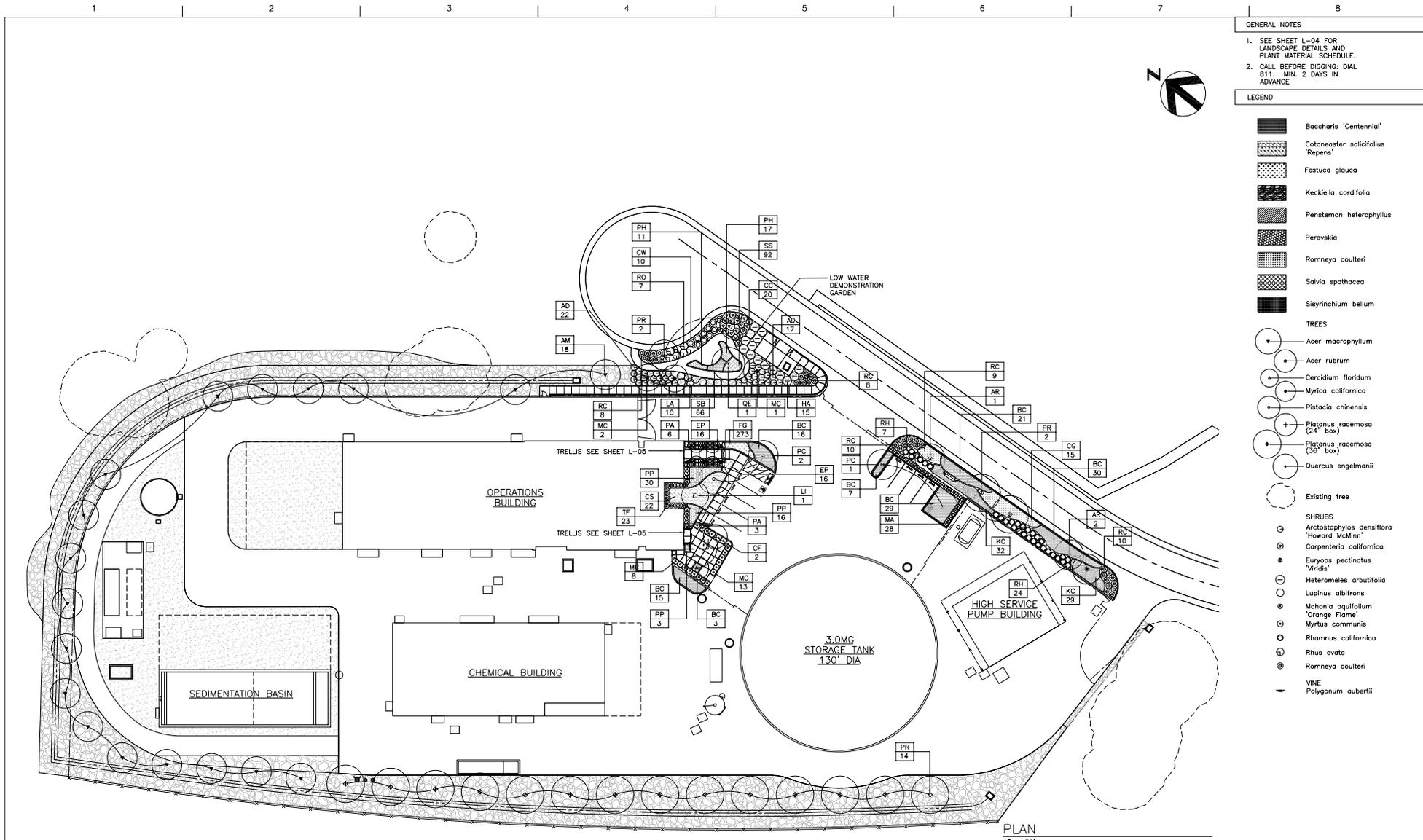
ISSUE	DATE	DESCRIPTION
3	06/2010	90% DESIGN REVIEW
2	04/2010	60% DESIGN REVIEW
1	01/2010	30% DESIGN REVIEW

PROJECT MANAGER	R. STRATTON
DESIGNED BY	K. HENDERSON
DRAWN BY	M. BECK
CHECKED BY	D. CORNELL
CHECKED BY	
DATE	JUNE 2010
PROJECT NUMBER	343957-131898



CITY OF LODI
SURFACE WATER TREATMENT FACILITY

WATER TREATMENT PLANT GRADING, PAVING AND DRAINAGE PLAN I	
0 1" 2"	FILENAME 131898-C-42.dwg
SCALE 1" = 30'	DRAWING C42



GENERAL NOTES

- SEE SHEET L-04 FOR LANDSCAPE DETAILS AND PLANT MATERIAL SCHEDULE.
- CALL BEFORE DIGGING; DIAL 811. MIN. 2 DAYS IN ADVANCE.

LEGEND

- Baccharis 'Centennial'
- Cotoneaster salicifolius 'repens'
- Festuca glauca
- Keckiella cordifolia
- Penstemon heterophyllus
- Perovskia
- Romneya coulteri
- Salvia spathacea
- Sisyinchium bellum
- TREES**
- Acer macrophyllum
- Acer rubrum
- Cercidium floridum
- Myrica californica
- Pistacia chinensis
- Platanus racemosa (24" box)
- Platanus racemosa (36" box)
- Quercus engelmannii
- Existing tree
- SHRUBS**
- Arctostaphylos densiflora 'Howard McMill'
- Carpenteria californica
- Euryops pectinatus 'Virdis'
- Heteromeles arbutifolia
- Lupinus albusifrons
- Mahonia aquifolium 'Orange Flame'
- Myrtus communis
- Rhamnus californica
- Rhus ovata
- Romneya coulteri
- VINE**
- Polygonum aubertii

PLAN
1" = 30'

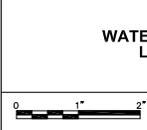


ISSUE	DATE	DESCRIPTION
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2	08/2010	60% DESIGN REVIEW
1	01/2010	30% DESIGN REVIEW

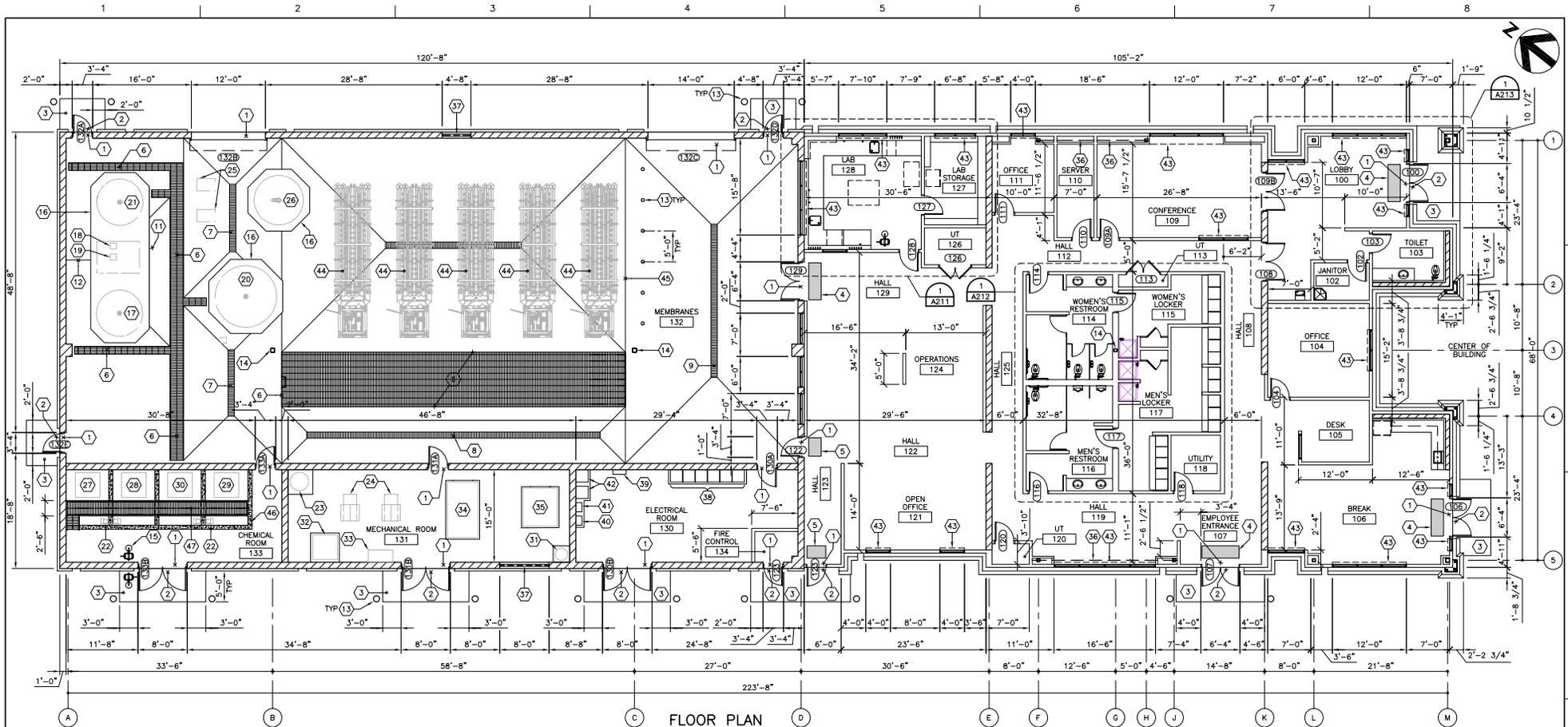
PROJECT MANAGER	R. STRATTON
DESIGNED BY	G. LAI
DESIGNED BY	H. HABIG
DRAWN BY	H. HABIG
CHECKED BY	
CHECKED BY	
DATE	JUNE 2010
PROJECT NUMBER	343957-131898



CITY OF LODI
SURFACE WATER TREATMENT FACILITY



FILENAME	131898-L-01.dwg	DRAWING
SCALE	1" = 30'	L01



FLOOR PLAN
1/8" = 1'-0"

KEYNOTES:

- ① ELEVATION = 0'-0" FLOOR ELEVATION AT DOOR THRESHOLD
- ② ELEVATION = 0'-0 1/2" BELOW FINISH FLOOR ELEVATION AT TOP OF LANDING
- ③ CONCRETE LANDING WITH SLOPE OF 1/4" PER FOOT AWAY FROM DOOR
- ④ 6'-0" X 2'-0" RECESSED ENTRANCE MAT
- ⑤ 3'-0" X 2'-0" RECESSED ENTRANCE MAT
- ⑥ FINISH FLOOR ELEVATION AT ALUMINUM GRATE
- ⑦ TRENCH DRAIN ELEVATION AT 0'-1 1/2" BELOW FINISH FLOOR
- ⑧ TRENCH DRAIN ELEVATION AT 0'-1" BELOW FINISH FLOOR
- ⑨ TRENCH DRAIN ELEVATION AT 0'-3 1/4" BELOW FINISH FLOOR
- ⑩ TRENCH DRAIN ELEVATION AT 0'-4 1/4" BELOW FINISH FLOOR
- ⑪ ELEVATION = 0'-0 3/4" ABOVE FINISH FLOOR
- ⑫ ELEVATION = 0'-3 1/2" ABOVE FINISH FLOOR
- ⑬ STEEL BOLLARDS, TYPICAL
- ⑭ STRUCTURAL COLUMN
- ⑮ EMERGENCY EYE WASH AND SHOWER
- ⑯ HOUSEKEEPING PAD
- ⑰ CIP ACID TANK
- ⑱ DRAIN PUMP
- ⑲ CIRCULATION PUMP
- ⑳ CIP NEUTRALIZATION TANK
- ㉑ CIP EFM TANK
- ㉒ TRANSFER PUMPS
- ㉓ AIR RECEIVER
- ㉔ AIR COMPRESSOR
- ㉕ REVERSE FILTRATION FEED PUMP
- ㉖ REVERSE FILTRATION WATER TANK
- ㉗ SODIUM HYDROXIDE TOTE
- ㉘ CITRIC ACID TOTE
- ㉙ SODIUM HYPOCHLORITE TOTE
- ㉚ SODIUM BISULFITE TOTE
- ㉛ WATER HEATER
- ㉜ BOILER
- ㉝ HOT WATER PUMP
- ㉞ MEMBRANE EVAPORATIVE COOLER
- ㉟ ADMINISTRATION AREA AHU
- ㊱ FRAME BRACING
- ㊲ LOUVER, SEE MECHANICAL DRAWINGS, SHEET A 204, AND A205
- ㊳ MCC
- ㊴ RTU-1
- ㊵ LP-E
- ㊶ LP-D
- ㊷ ELECTRICAL EQUIPMENT
- ㊸ WINDOW BLINDS
- ㊹ MEMBRANE FILTRATION UNIT
- ㊺ FINISH FLOOR ELEVATION
- ㊻ 2'-0" HIGH CONCRETE CURB. SEE SHEET S202.
- ㊼ ALUMINUM GRATE CAT WALK WITH GUARD RAILING PER OSHA STANDARDS.

GENERAL NOTES:

1. CONTRACTOR ASSUMES ALL LIABILITY FOR PERFORMANCE, QUALITY, AND SAFETY RELATED TO WORKMANSHIP NOT CONFORMING TO SIGNED AND SEALED CONSTRUCTION DOCUMENTS. THESE CONSTRUCTION DOCUMENTS INCLUDE THE CONFORMED SET OF CONSTRUCTION DRAWINGS, CHANGE ORDERS, OR DESIGN CLARIFICATIONS APPROVED BY THE ENGINEER OF RECORD OR ARCHITECT OF RECORD.
2. 0'-0" ARCHITECTURAL FINISH FLOOR ELEVATION EQUALS 45.5' CIVIL ELEVATION.
3. EXTERIOR SURFACE MOUNTED PIPING, CONDUIT AND JUNCTION BOXES ARE STRICTLY FORBIDDEN.
4. LIMITED INTERIOR SURFACE MOUNTED PIPING, CONDUIT AND JUNCTION BOXES MAY BE ROUTED IN ROOMS 120, 113, 118, 102, 110, 133, 131, 130, AND 132. WITHIN THESE ROOMS MAIN
5. SEE SHEET A201 FOR SECTION, ELEVATION, DETAIL, WALL TYPE AND ENLARGED PLAN CALL OUTS.
6. SEE SHEET A200 FOR FURNITURE LAYOUT.
7. SEE STRUCTURAL DRAWINGS FOR DIMENSIONS RELATED TO STRUCTURAL CONCRETE OR CONCRETE MASONRY.
8. CONTRACTOR SHALL CHECK DIMENSIONS AGAINST STRUCTURAL DRAWINGS AND REPORT CONFLICTS TO THE CONSTRUCTION MANAGER, ARCHITECT OF RECORD OR ENGINEER OF RECORD.

HORIZONTAL RUNS SHALL ONLY BE PERMITTED 8'0" ABOVE FINISH FLOOR AND ABOVE, AND VERTICAL ROUTING MAY BE UNLIMITED. IN ROOM 124, 129 AND 121, SURFACE MOUNTING OF CONDUIT, PIPING AND JUNCTION BOXES ARE LIMITED TO THE UNDERSIDE OF ROOF AND ROOF STRUCTURE. IN ALL OTHER ROOMS, SURFACE MOUNTING OF PIPING, CONDUIT AND JUNCTION BOXES ARE FORBIDDEN.



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3	06/2010	90% DESIGN REVIEW
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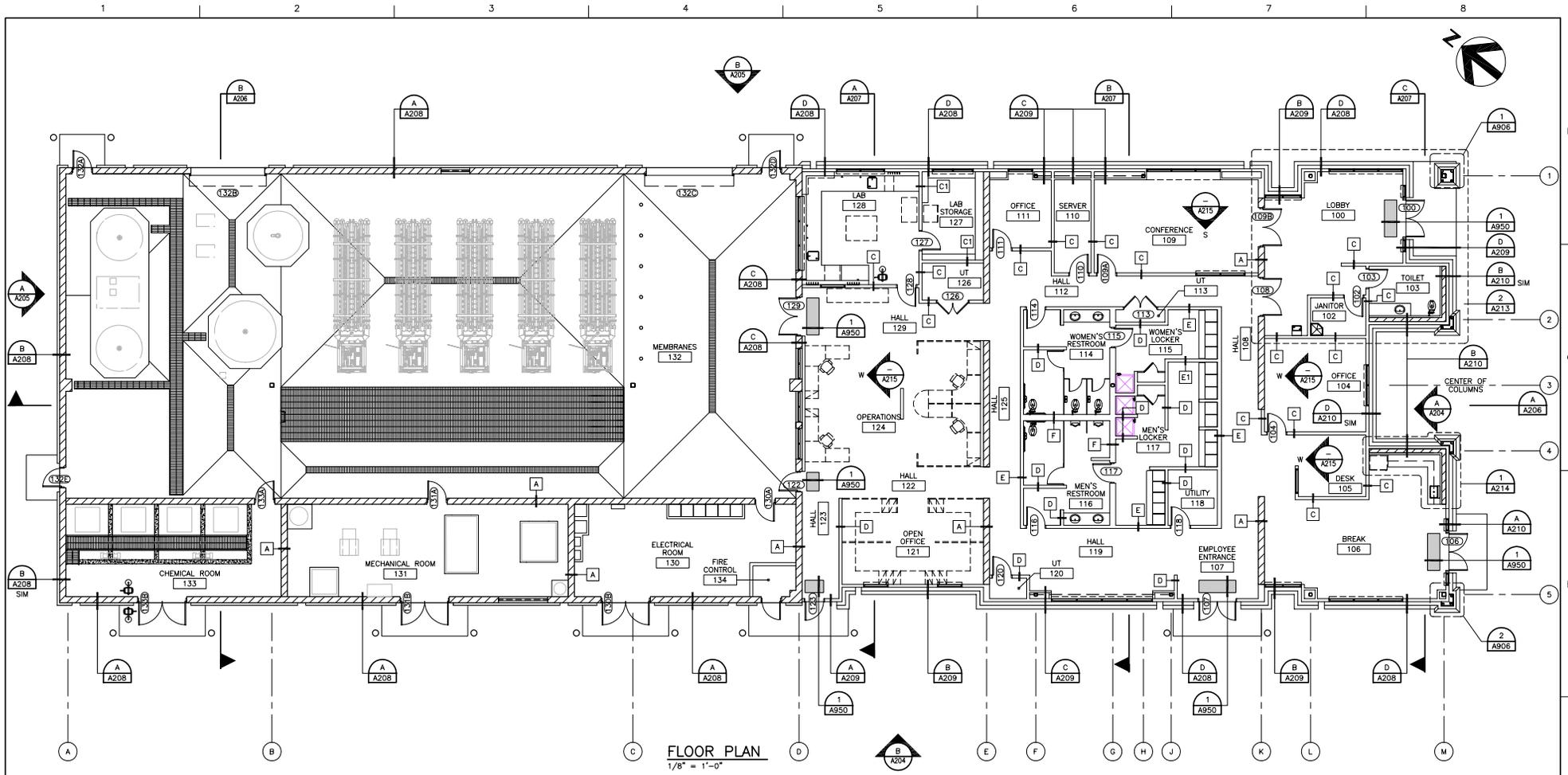
PROJECT MANAGER	R. STRATTON
DESIGNED BY	M. LAMBERT
DESIGNED BY	
DRAWN BY	M. MENDOZA
CHECKED BY	
CHECKED BY	
DATE	JUNE 2010
PROJECT NUMBER	343957-131898

PRELIMINARY
NOT FOR CONSTRUCTION



CITY OF LODI
SURFACE WATER TREATMENT FACILITY

	OPERATIONS BUILDING FLOOR PLAN I	DRAWING A200
SCALE 1/8" = 1'-0"	FILENAME 131898-A200.dwg	



FLOOR PLAN
1/8" = 1'-0"

GENERAL NOTE:
1. SEE SHEET A200 FOR DIMENSIONS AND KEYNOTES.



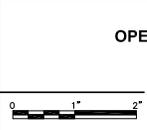
ISSUE	DATE	DESCRIPTION
3	06/2010	90% DESIGN REVIEW
2	04/2010	60% DESIGN REVIEW
1	01/2010	30% DESIGN REVIEW

PROJECT MANAGER	R. STRATON
DESIGNED BY	M. LAMBERT
DRAWN BY	M. MENDOZA
CHECKED BY	
CHECKED BY	
DATE	JUNE 2010
PROJECT NUMBER	343957-131898

PRELIMINARY
NOT FOR CONSTRUCTION



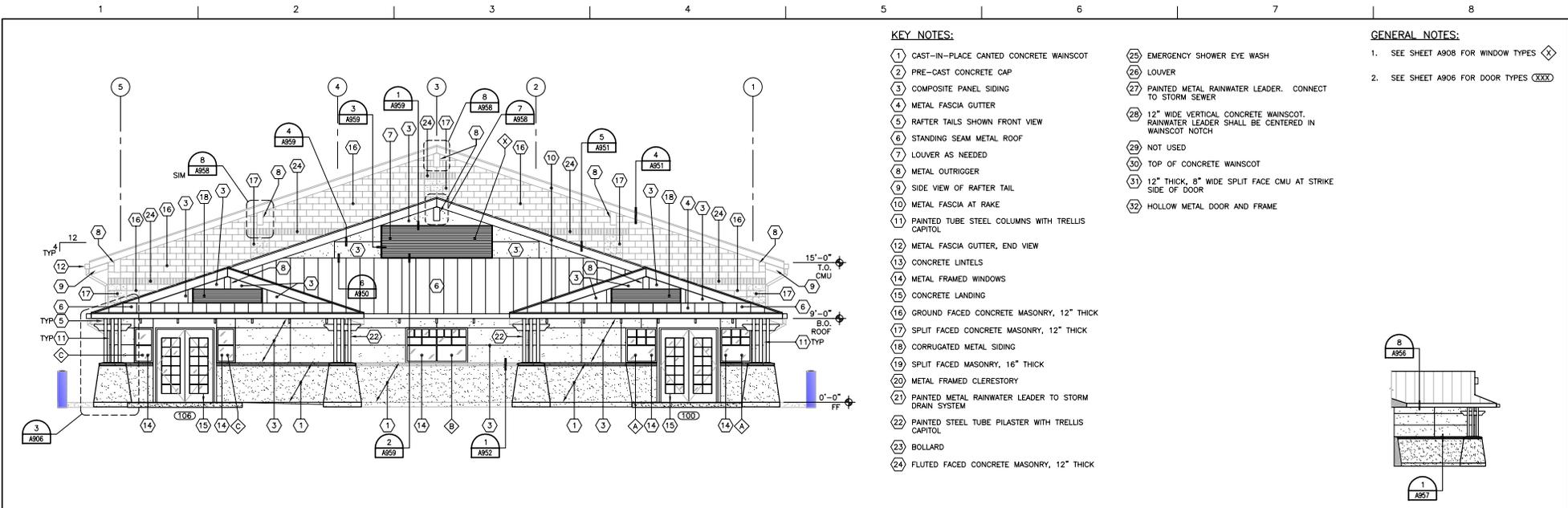
CITY OF LODI
SURFACE WATER
TREATMENT FACILITY



OPERATIONS BUILDING
FLOOR PLAN II

FILENAME: 131898-A201.dwg
SCALE: 1/8" = 1'-0"

DRAWING
A201



EAST ELEVATION
3/16" = 1'-0"
A A201

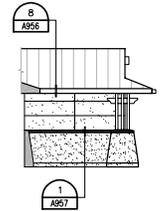
KEY NOTES:

- 1 CAST-IN-PLACE CANTED CONCRETE WAINSCOT
- 2 PRE-CAST CONCRETE CAP
- 3 COMPOSITE PANEL SIDING
- 4 METAL FASCIA GUTTER
- 5 RAFTER TAILS SHOWN FRONT VIEW
- 6 STANDING SEAM METAL ROOF
- 7 LOUVER AS NEEDED
- 8 METAL OUTRIGGER
- 9 SIDE VIEW OF RAFTER TAIL
- 10 METAL FASCIA AT RAKE
- 11 PAINTED TUBE STEEL COLUMNS WITH TRELLIS CAPITOL
- 12 METAL FASCIA GUTTER, END VIEW
- 13 CONCRETE LINTELS
- 14 METAL FRAMED WINDOWS
- 15 CONCRETE LANDING
- 16 GROUND FACED CONCRETE MASONRY, 12" THICK
- 17 SPLIT FACED CONCRETE MASONRY, 12" THICK
- 18 CORRUGATED METAL SIDING
- 19 SPLIT FACED MASONRY, 16" THICK
- 20 METAL FRAMED CLERESTORY
- 21 PAINTED METAL RAINWATER LEADER TO STORM DRAIN SYSTEM
- 22 PAINTED STEEL TUBE PILASTER WITH TRELLIS CAPITOL
- 23 BOLLARD
- 24 FLUTED FACED CONCRETE MASONRY, 12" THICK

- 25 EMERGENCY SHOWER EYE WASH
- 26 LOUVER
- 27 PAINTED METAL RAINWATER LEADER. CONNECT TO STORM SEWER
- 28 12" WIDE VERTICAL CONCRETE WAINSCOT. RAINWATER LEADER SHALL BE CENTERED IN WAINSCOT NOTCH
- 29 NOT USED
- 30 TOP OF CONCRETE WAINSCOT
- 31 12" THICK, 8" WIDE SPLIT FACE CMU AT STRIKE SIDE OF DOOR
- 32 HOLLOW METAL DOOR AND FRAME

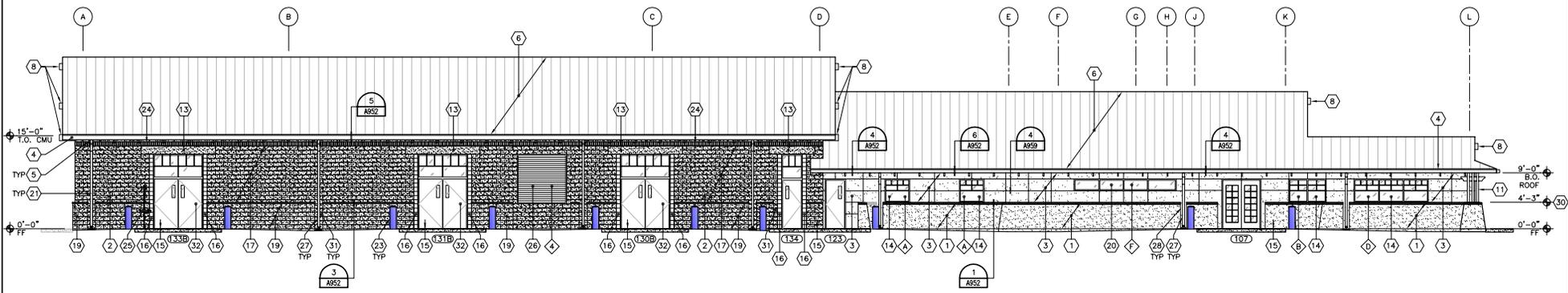
GENERAL NOTES:

- 1. SEE SHEET A908 FOR WINDOW TYPES
- 2. SEE SHEET A906 FOR DOOR TYPES



NORTH COVE ELEVATION BETWEEN GRID LINES L & K SIMILAR. SEE CORRESPONDING KEYNOTES BELOW.

SOUTH COVE ELEVATION
1/8" = 1'-0"
BETWEEN GRIDS K & L



SOUTH ELEVATION
1/8" = 1'-0"
B A201



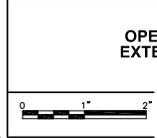
ISSUE	DATE	DESCRIPTION
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PROJECT MANAGER	R. STRATTON
DESIGNED BY	M. LAMBERT
DRAWN BY	M. MENDOZA
CHECKED BY	
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DATE	JUNE 2010
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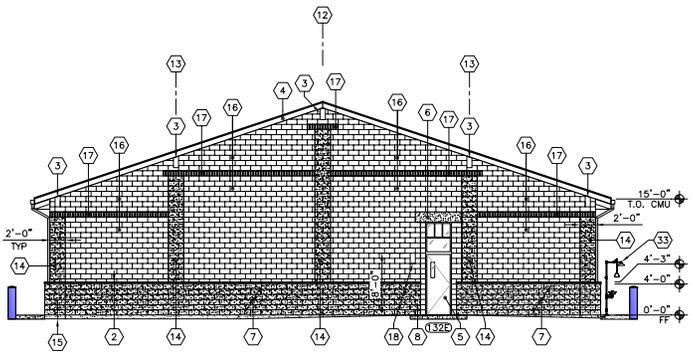


CITY OF LODI
SURFACE WATER TREATMENT FACILITY



OPERATIONS BUILDING EXTERIOR ELEVATIONS I	FILENAME	131898-A204.dwg
	SCALE	AS NOTED

DRAWING	A204
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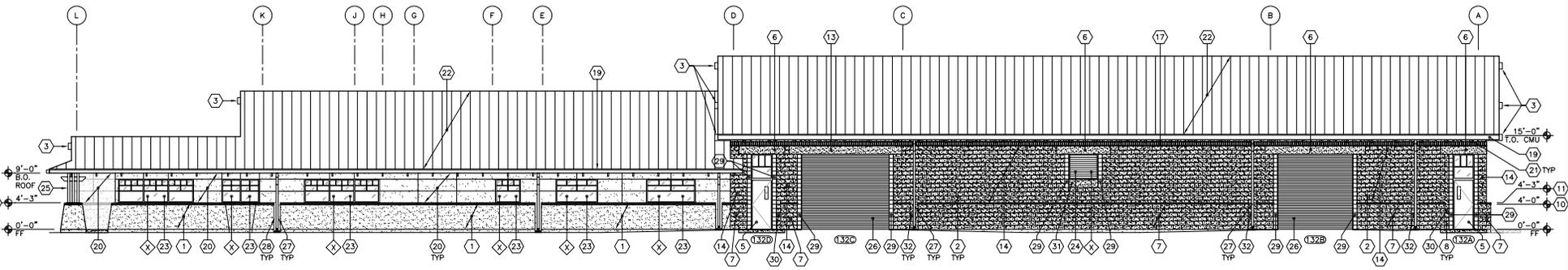
WEST ELEVATION
1/8" = 1'-0"
A
A201

KEY NOTES:

- 1 CAST-IN-PLACE CANTED CONCRETE WAINSCOT
- 2 PRE-CAST CONCRETE CAP
- 3 METAL OUTRIGGERS
- 4 METAL FASCIA AT RAKE
- 5 HOLLOW METAL DOOR AND FRAME
- 6 CONCRETE LINTEL
- 7 16" THICK SPLIT FACE CONCRETE MASONRY
- 8 CONCRETE LANDING
- 9 TOP OF CONCRETE WAINSCOT
- 10 TOP OF CMU WAINSCOT
- 11 TOP OF TOP CAP AT WAINSCOT
- 12 COURSING OF CONCRETE MASONRY MUST BE SET SO THAT THE 2'-0" WIDE SPLIT FACE PORTION IS CENTERED UNDER GABLE RIDGE
- 13 POSITION METAL OUTRIGGER CENTERED OVER THE 2'-0" WIDE SPLIT FACE PORTION OF WALL
- 14 12" THICK SPLIT FACE CONCRETE MASONRY
- 15 6" BETWEEN UNPAVED FINISH GRADE OR 1/2" BETWEEN PAVED FINISH GRADE AND FINISH FLOOR. GRADE SLOPES DOWN 1/4" PER FOOT AWAY FROM BUILDING AND AT TRANSITIONS BETWEEN PAVED AND UNPAVED GRADE. SLOPE AWAY FROM BUILDING SHALL TERMINATE AT SWALE, DRAIN OR OTHER STORM WATER MANAGEMENT FEATURE. SEE CIVIL DRAWINGS
- 16 12" THICK GROUND FACED CONCRETE MASONRY
- 17 12" THICK FLUTED FACED CONCRETE MASONRY
- 18 DESIGNER LIGHT FIXTURE. PROVIDE GROUND FACE OR OTHER UNIFORM WALL SURFACE AT MOUNTING LOCATION ONLY
- 19 METAL FASCIA GUTTER AT EAVE
- 20 COMPOSITE PANEL SIDING
- 21 RAFTER TAIL, FRONT VIEW
- 22 STANDING SEAM METAL ROOF
- 23 METAL FRAMED WINDOWS
- 24 LOUVER
- 25 PAINTED TUBE STEEL COLUMNS WITH TRELIS CAPITOL
- 26 STAINLESS STEEL OVERHEAD COILING DOOR
- 27 PAINTED METAL RAINWATER LEADER. CONNECT TO STORM SEWER
- 28 12" WIDE VERTICAL CONCRETE WAINSCOT. RAINWATER LEADER SHALL BE CENTERED IN WAINSCOT NOTCH
- 29 12" THICK, 8" WIDE GROUND FACE AT ROUGH OPENING. GROUND FACE FINISH SHALL BE PROVIDED ON ALL EXTERIOR FINISHES EXPOSED TO VIEW
- 30 12" THICK, 8" WIDE SPLIT FACE CMU AT STRIKE SIDE OF DOOR
- 31 PRECAST CONCRETE LOUVER SILL
- 32 12" THICK, 16" WIDE SPLIT FACE CMU. RAINWATER LEADER SHALL BE CENTERED IN WAINSCOT NOTCH
- 33 EMERGENCY SHOWER EYE WASH

GENERAL NOTES:

- 1. SEE SHEET A908 FOR WINDOW TYPES (X)
- 2. SEE SHEET A906 FOR DOOR TYPES (XXX)



NORTH ELEVATION
1/8" = 1'-0"
B
A201



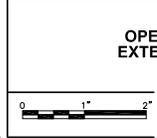
ISSUE	DATE	DESCRIPTION
3	06/2010	90% DESIGN REVIEW
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PROJECT MANAGER	R. STRATTON
DESIGNED BY	M. LAMBERT
DRAWN BY	M. MENDOZA
CHECKED BY	
CHECKED BY	
DATE	JUNE 2010
PROJECT NUMBER	343957-131898

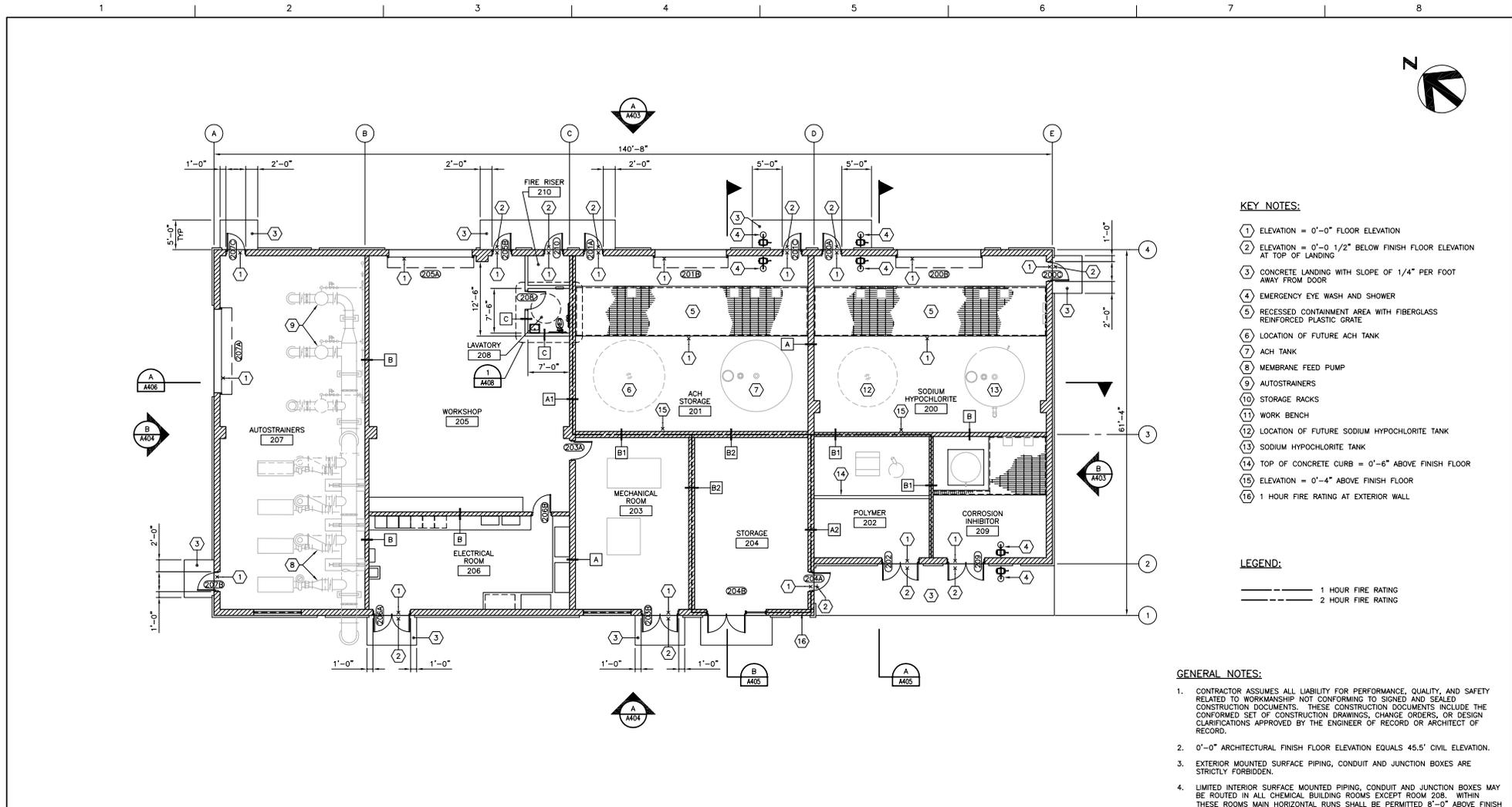
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NOT FOR CONSTRUCTION



CITY OF LODI
SURFACE WATER TREATMENT FACILITY



OPERATIONS BUILDING EXTERIOR ELEVATIONS II	FILENAME 131898-A205.dwg	DRAWING
SCALE AS NOTED		A205



- KEY NOTES:**
- ① ELEVATION = 0'-0" FLOOR ELEVATION
 - ② ELEVATION = 0'-0 1/2" BELOW FINISH FLOOR ELEVATION AT TOP OF LANDING
 - ③ CONCRETE LANDING WITH SLOPE OF 1/4" PER FOOT AWAY FROM DOOR
 - ④ EMERGENCY EYE WASH AND SHOWER
 - ⑤ RECESSED CONTAINMENT AREA WITH FIBERGLASS REINFORCED PLASTIC GRATE
 - ⑥ LOCATION OF FUTURE ACH TANK
 - ⑦ ACH TANK
 - ⑧ MEMBRANE FEED PUMP
 - ⑨ AUTOSTRAINERS
 - ⑩ STORAGE RACKS
 - ⑪ WORK BENCH
 - ⑫ LOCATION OF FUTURE SODIUM HYPOCHLORITE TANK
 - ⑬ SODIUM HYPOCHLORITE TANK
 - ⑭ TOP OF CONCRETE CURB = 0'-6" ABOVE FINISH FLOOR
 - ⑮ ELEVATION = 0'-4" ABOVE FINISH FLOOR
 - ⑯ 1 HOUR FIRE RATING AT EXTERIOR WALL

- LEGEND:**
- 1 HOUR FIRE RATING
 - 2 HOUR FIRE RATING

- GENERAL NOTES:**
1. CONTRACTOR ASSUMES ALL LIABILITY FOR PERFORMANCE, QUALITY, AND SAFETY RELATED TO WORKMANSHIP NOT CONFORMING TO SIGNED AND SEALED CONSTRUCTION DOCUMENTS. THESE CONSTRUCTION DOCUMENTS INCLUDE THE CONFORMED SET OF CONSTRUCTION DRAWINGS, CHANGE ORDERS, OR DESIGN CLARIFICATIONS APPROVED BY THE ENGINEER OF RECORD OR ARCHITECT OF RECORD.
 2. 0'-0" ARCHITECTURAL FINISH FLOOR ELEVATION EQUALS 45.5' CIVIL ELEVATION.
 3. EXTERIOR MOUNTED SURFACE PIPING, CONDUIT AND JUNCTION BOXES ARE STRICTLY FORBIDDEN.
 4. LIMITED INTERIOR SURFACE MOUNTED PIPING, CONDUIT AND JUNCTION BOXES MAY BE ROUTED IN ALL CHEMICAL BUILDING ROOMS EXCEPT ROOM 208. WITHIN THESE ROOMS MAIN HORIZONTAL RUNS SHALL BE PERMITTED 8'-0" ABOVE FINISH FLOOR AND ABOVE, AND VERTICAL ROUTING MAY BE UNLIMITED.
 5. SEE STRUCTURAL DRAWINGS FOR CMU DIMENSIONS.

FLOOR PLAN
1/8" = 1'-0"



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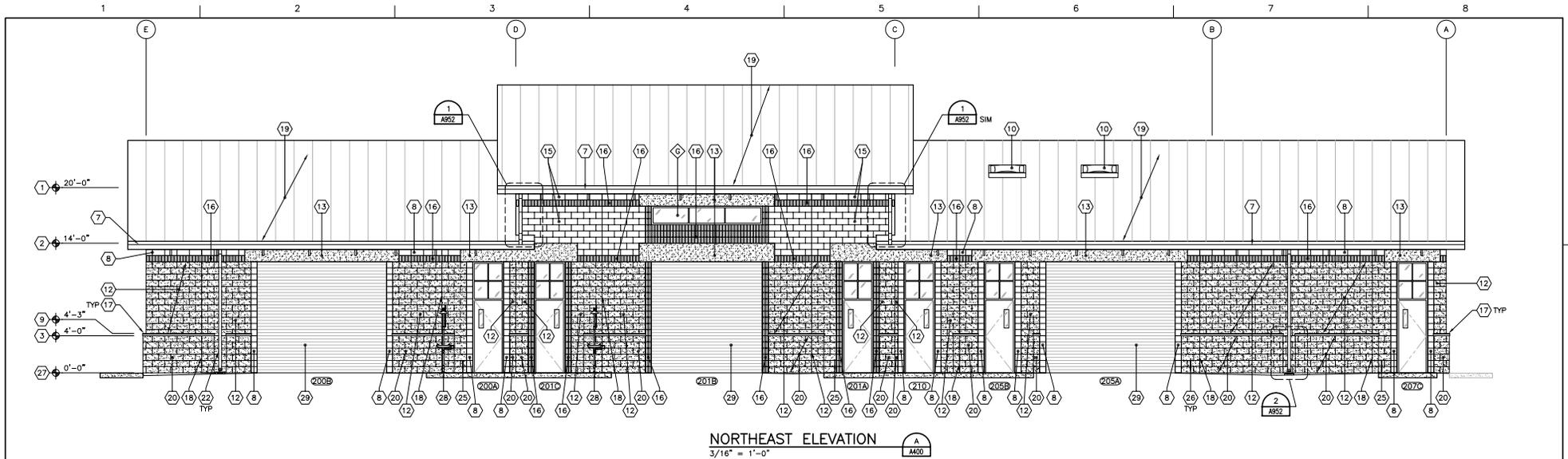
PROJECT MANAGER	R. STRATTON
DESIGNED BY	M. LAMBERT
DRAWN BY	M. MENDOZA
CHECKED BY	
DATE	JUNE 2010
PROJECT NUMBER	343957-131898

PRELIMINARY
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CITY OF LODI
SURFACE WATER TREATMENT FACILITY

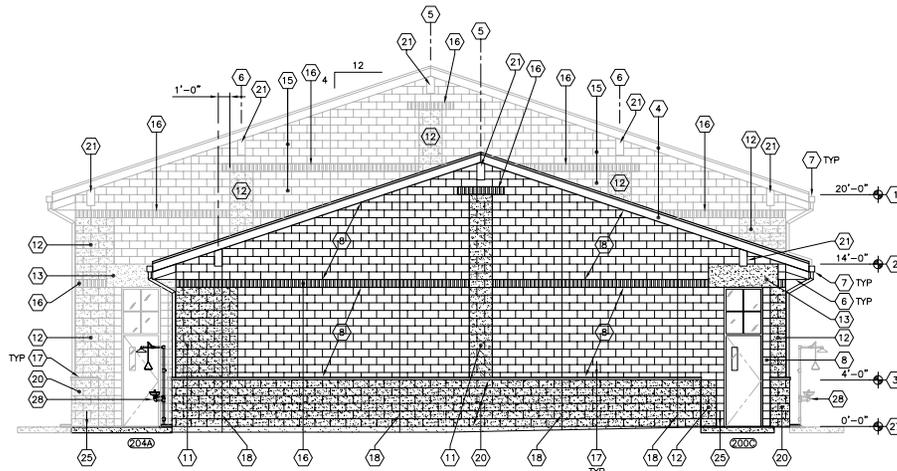
	CHEMICAL BUILDING FLOOR PLAN	DRAWING A400
FILENAME: 131898-A400.dwg SCALE: 1/8" = 1'-0"		



NORTHEAST ELEVATION
3/16" = 1'-0"

GENERAL NOTES:

1. EXTERIOR MOUNTING OF CONDUIT, PIPING, JUNCTION BOXES, OR OTHER EQUIPMENT IS STRICTLY FORBIDDEN UNLESS SHOWN ON DRAWINGS.



SOUTHEAST ELEVATION
3/16" = 1'-0"

KEY NOTES:

- | | |
|--|---|
| 1 TOP OF WALL BETWEEN GRIDLINES C AND D | 19 STANDING SEAM METAL ROOF |
| 2 TOP OF WALL BETWEEN GRIDLINES D AND E AND BETWEEN A AND C | 20 SPLIT FACED CONCRETE MASONRY AT 16" THICKNESS |
| 3 TOP OF CONCRETE MASONRY WAINSCOT | 21 METAL OUTRIGGER |
| 4 METAL FASCIA AT RAKE | 22 RAINWATER LEADER |
| 5 COURSING OF CONCRETE MASONRY MUST BE SET SO THAT THE 2'-0" WIDE SPLIT FACE PORTION IS CENTERED UNDER GABLE RIDGE | 23 NOT USED |
| 6 POSITION METAL OUTRIGGER CENTERED OVER THE 2'-0" WIDE SPLIT FACE PORTION OF THE WALL | 24 NOT USED |
| 7 METAL FASCIA GUTTER | 25 CONCRETE LANDING. SLOPED 1/4" PER FOOT AWAY FROM BUILDING |
| 8 GROUND FACED CONCRETE MASONRY WITH 12" THICKNESS | 26 PAVED GRADE AT BUILDING 1/2" BELOW FINISH FLOOR ELEVATION. SLOPED 1/4" FOOT AWAY FROM BUILDING |
| 9 ELEVATION OF TOP OF PRECAST CONCRETE WAINSCOT CAP | 27 FINISH FLOOR ELEVATION |
| 10 SKYLIGHT | 28 EMERGENCY EYE WASH/SHOWER |
| 11 NOT USED | 29 ROLL-UP DOOR |
| 12 SPLIT FACED CONCRETE MASONRY AT 12" THICKNESS | |
| 13 NATURAL COLOR, SMOOTH FACED, CONCRETE LINTEL | |
| 14 NOT USED | |
| 15 GROUND FACED CONCRETE MASONRY WITH 12" THICKNESS | |
| 16 FLUTED CONCRETE MASONRY AT 12" THICKNESS | |
| 17 PRECAST CONCRETE TOP CAP AT WAINSCOT | |
| 18 CONTROL JOINT | |



HDR Engineering, Inc.

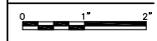
ISSUE	DATE	DESCRIPTION
3	06/2010	90% DESIGN REVIEW
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PROJECT MANAGER	R. STRATTON
DESIGNED BY	M. LAMBERT
DRAWN BY	M. MENDOZA
CHECKED BY	
CHECKED BY	
DATE	JUNE 2010
PROJECT NUMBER	343957-131898

PRELIMINARY
NOT FOR CONSTRUCTION



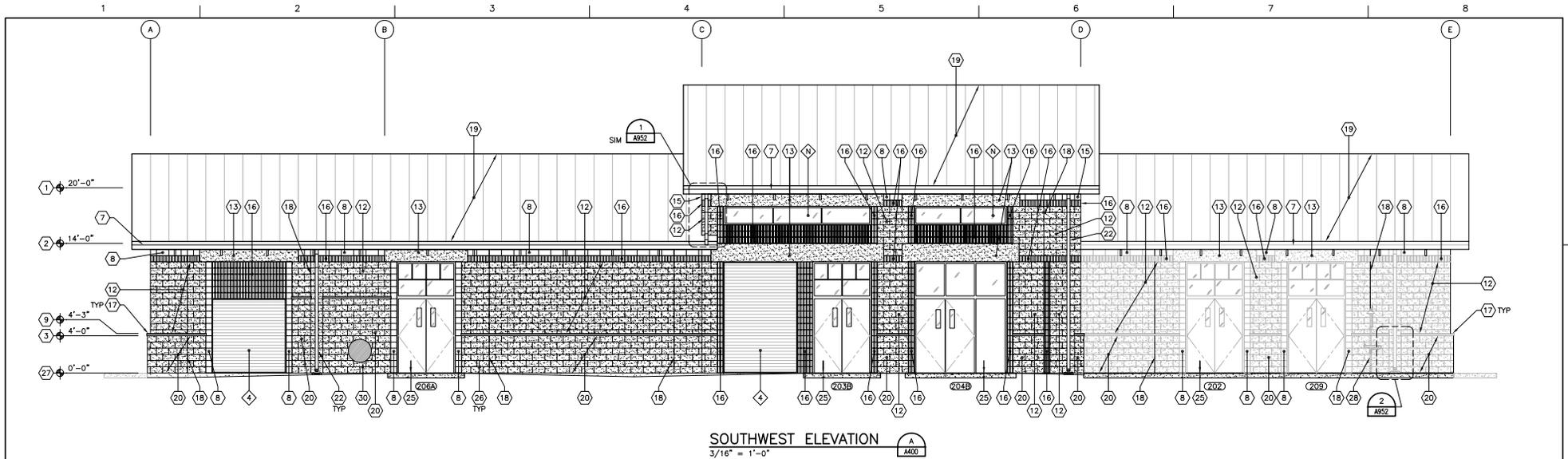
CITY OF LODI
SURFACE WATER TREATMENT FACILITY



CHEMICAL BUILDING
EXTERIOR ELEVATIONS I

FILENAME	131898-A403.dwg
SCALE	AS NOTED

DRAWING
A403



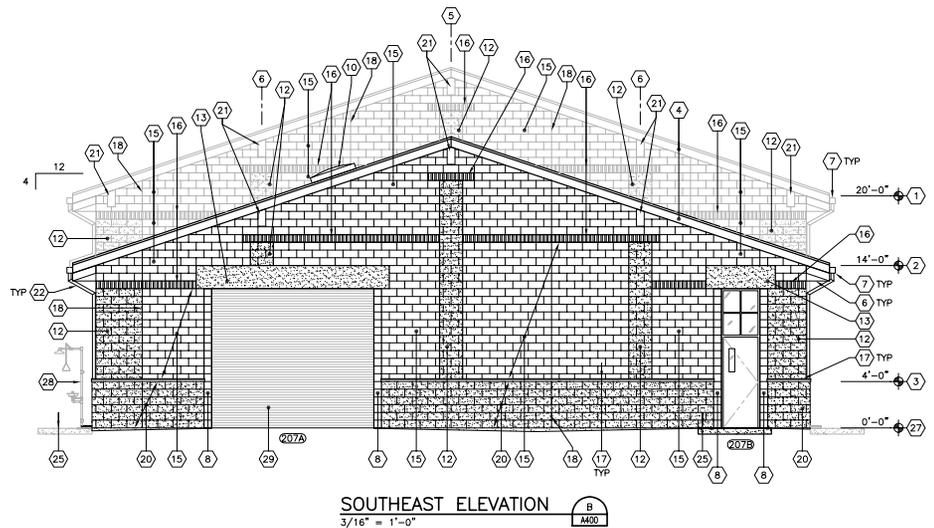
SOUTHWEST ELEVATION
3/16" = 1'-0"

GENERAL NOTES:

1. EXTERIOR MOUNTING OF CONDUIT, PIPING, JUNCTION BOXES, OR OTHER EQUIPMENT IS STRICTLY FORBIDDEN UNLESS SHOWN ON DRAWINGS.

KEY NOTES:

- | | |
|--|---|
| 1 TOP OF WALL BETWEEN GRIDLINES C AND D | 19 STANDING SEAM METAL ROOF |
| 2 TOP OF WALL BETWEEN GRIDLINES D AND E AND BETWEEN A AND C | 20 SPLIT FACED CONCRETE MASONRY AT 16" THICKNESS |
| 3 TOP OF CONCRETE MASONRY WANSCOT | 21 METAL OUTRIGGER |
| 4 METAL FASCIA AT RAKE | 22 RAINWATER LEADER |
| 5 COURSING OF CONCRETE MASONRY MUST BE SET SO THAT THE 2'-0" WIDE SPLIT FACE PORTION IS CENTERED UNDER GABLE RIDGE | 23 NOT USED |
| 6 POSITION METAL OUTRIGGER CENTERED OVER THE 2'-0" WIDE SPLIT FACE PORTION OF THE WALL | 24 NOT USED |
| 7 METAL FASCIA GUTTER | 25 CONCRETE LANDING. SLOPED 1/4" PER FOOT AWAY FROM BUILDING |
| 8 GROUND FACED CONCRETE MASONRY WITH 12" THICKNESS | 26 PAVED GRADE AT BUILDING 1/2" BELOW FINISH FLOOR ELEVATION. SLOPED 1/4" FOOT AWAY FROM BUILDING |
| 9 ELEVATION OF TOP OF PRECAST CONCRETE WANSCOT CAP | 27 FINISH FLOOR ELEVATION |
| 10 SKYLIGHT | 28 EMERGENCY EYE WASH/SHOWER |
| 11 NOT USED | 29 ROLL-UP DOOR |
| 12 SPLIT FACED CONCRETE MASONRY AT 12" THICKNESS | |
| 13 NATURAL COLOR, SMOOTH FACED, CONCRETE LINTEL | |
| 14 NOT USED | |
| 15 GROUND FACED CONCRETE MASONRY WITH 12" THICKNESS | |
| 16 FLUTED CONCRETE MASONRY AT 12" THICKNESS | |
| 17 PRECAST CONCRETE TOP CAP AT WANSCOT | |
| 18 CONTROL JOINT | |



SOUTHEAST ELEVATION
3/16" = 1'-0"



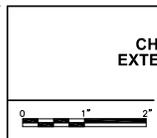
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PROJECT MANAGER	R. STRATTON
DESIGNED BY	M. LAMBERT
DESIGNED BY	M. LAMBERT
DRAWN BY	M. MENDOZA
CHECKED BY	
CHECKED BY	
DATE	JUNE 2010
PROJECT NUMBER	343957-131898

PRELIMINARY
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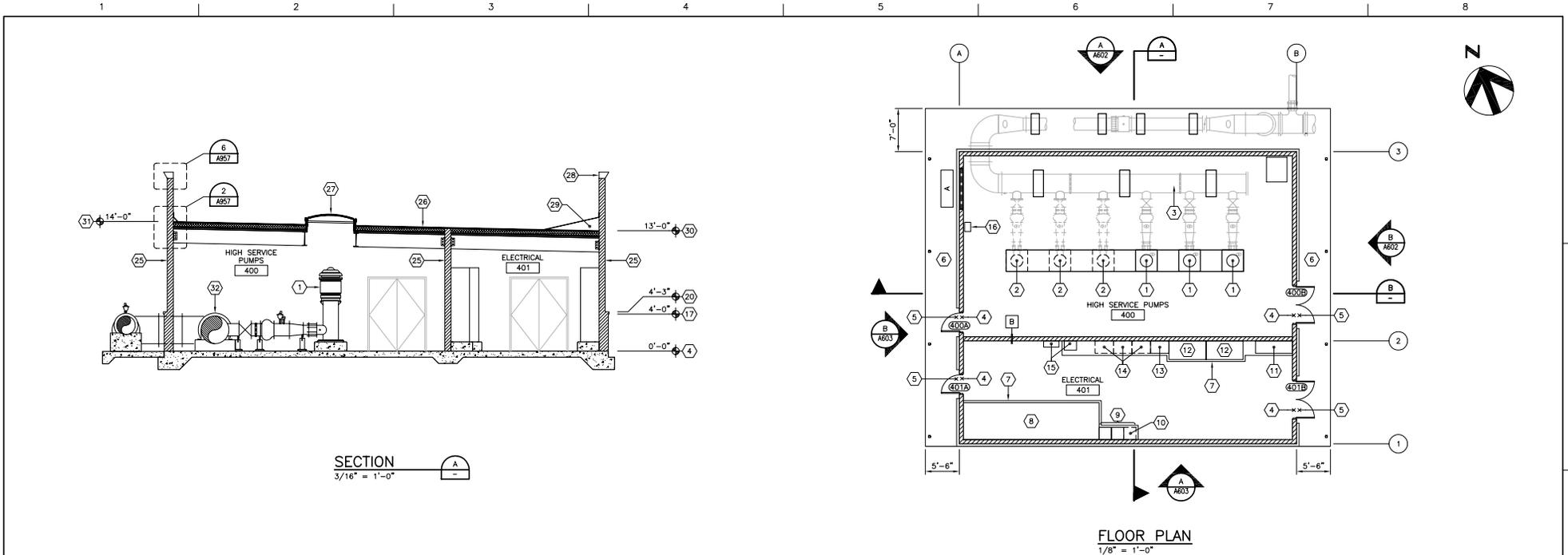
CITY OF LODI
SURFACE WATER TREATMENT FACILITY



CHEMICAL BUILDING EXTERIOR ELEVATIONS II

FILENAME: 131898-A404.dwg
SCALE: AS NOTED

DRAWING
A404



GENERAL NOTES:

- CONTRACTOR ASSUMES ALL LIABILITY FOR PERFORMANCE, QUALITY, AND SAFETY RELATED TO WORKMANSHIP NOT CONFORMING TO SIGNED AND SEALED CONSTRUCTION DOCUMENTS. THESE CONSTRUCTION DOCUMENTS INCLUDE THE CONFORMED SET OF CONSTRUCTION DRAWINGS, SPECIFICATIONS, CHANGE ORDERS, OR DESIGN CLARIFICATIONS APPROVED BY THE ENGINEER OF RECORD OR ARCHITECT OF RECORD.
- 0'-0" ARCHITECTURAL FINISH FLOOR ELEVATION EQUALS 45.5' CIVIL ELEVATION.
- EXTERIOR SURFACE MOUNTED PIPING, CONDUIT AND JUNCTION BOXES ARE STRICTLY FORBIDDEN.
- LIMITED INTERIOR SURFACE MOUNTED PIPING, CONDUIT AND JUNCTION BOXES MAY BE ROUTED IN ALL HIGH SERVICE PUMP BUILDING ROOMS. WITHIN THESE ROOMS' MAIN HORIZONTAL RUNS SHALL BE PERMITTED 8'-0" ABOVE FINISH FLOOR AND ABOVE, AND VERTICAL ROUTING MAY BE UNLIMITED.

KEY NOTES:

- | | |
|---|---|
| 1 HIGH SERVICE PUMPS | 17 TOP OF CONCRETE MASONRY WAINSCOT ELEVATION |
| 2 LOCATION OF FUTURE HIGH SERVICE PUMPS | 18 PRECAST CONCRETE WAINSCOT CAP |
| 3 PROCESS PIPING | 19 TUBE STEEL COLUMN |
| 4 ELEVATION = 0'-0" FLOOR ELEVATION | 20 TOP OF WAINSCOT AT PRECAST CONCRETE CAP |
| 5 ELEVATION = -0'-0 1/2" BELOW FINISH FLOOR ELEVATION AT TOP OF LANDING | 21 TOP OF COLUMN AT SLOPED ROOF |
| 6 CONCRETE LANDINGS WITH SLOPE OF 1/4" PER FOOT AWAY FROM DOOR | 22 STANDING SEAM METAL ROOF SYSTEM OVER STRUCTURAL SYSTEM |
| 7 HOUSEKEEPING PAD AT ELECTRICAL PANELS | 23 TOP OF CONCRETE MASONRY AT PARAPET |
| 8 SWITCHBOARD | 24 12" THICK CONCRETE MASONRY AT WAINSCOT |
| 9 MCC | 25 8" THICK CONCRETE MASONRY WALL |
| 10 FUTURE MCC | 26 INSULATED EPDM SINGLE MEMBRANE ROOF SYSTEM OVER ROOF STRUCTURE SYSTEM |
| 11 RTU | 27 5x5 SKYLIGHT, TYPICAL. LOCATE PRECISELY CENTERED OVER PUMP OR FUTURE PUMP LOCATION BELOW |
| 12 VFD | 28 PRECAST CONCRETE CORNICE |
| 13 RVSS | 29 CRICKET |
| 14 FUTURE RVSS | 30 ELEVATION OF ROOF BEARING AT LOW SIDE |
| 15 ELECTRICAL PANELS | 31 ELEVATION OF ROOF BEARING AT HIGH SIDE |
| 16 FINISHED WATER CHLORINE RESIDUAL ANALYZER | 32 PROCESS PIPING |



ISSUE	DATE	DESCRIPTION
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PROJECT MANAGER	R. STRATTON
DESIGNED BY	M. LAMBERT
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CHECKED BY	
CHECKED BY	
DATE	JUNE 2010
PROJECT NUMBER	343957-131898

PRELIMINARY
NOT FOR CONSTRUCTION

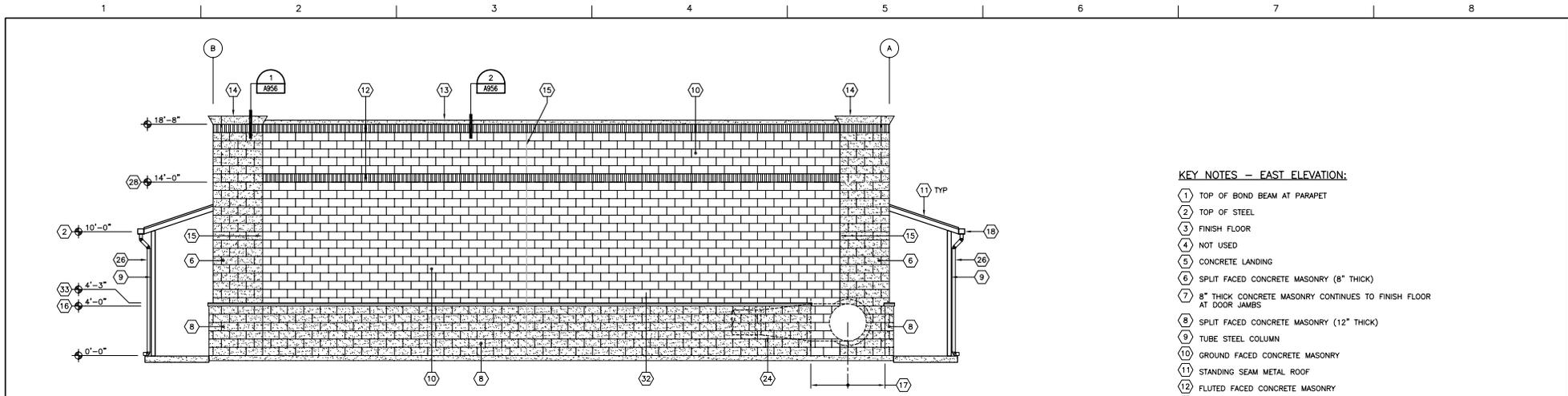


CITY OF LODI
SURFACE WATER TREATMENT FACILITY

HIGH SERVICE PUMP STATION FLOOR PLAN & BUILDING SECTIONS

0 1" 2"

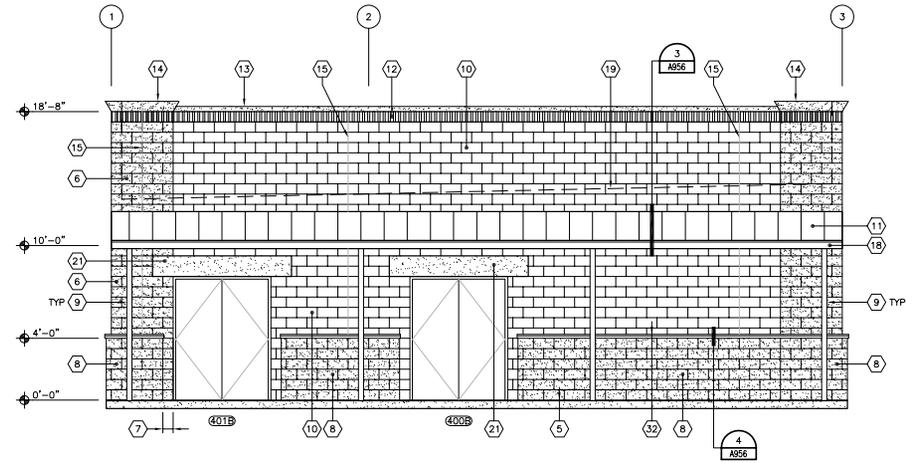
FILENAME	131898-A600.dwg	DRAWING	A600
SCALE	AS NOTED		



NORTH ELEVATION
1/4" = 1'-0"

KEY NOTES -- EAST ELEVATION:

- (1) TOP OF BOND BEAM AT PARAPET
- (2) TOP OF STEEL
- (3) FINISH FLOOR
- (4) NOT USED
- (5) CONCRETE LANDING
- (6) SPLIT FACED CONCRETE MASONRY (8" THICK)
- (7) 8" THICK CONCRETE MASONRY CONTINUES TO FINISH FLOOR AT DOOR JAMBS
- (8) SPLIT FACED CONCRETE MASONRY (12" THICK)
- (9) TUBE STEEL COLUMN
- (10) GROUND FACED CONCRETE MASONRY
- (11) STANDING SEAM METAL ROOF
- (12) FLUTED FACED CONCRETE MASONRY
- (13) PRECAST CONCRETE TOP CAP
- (14) PRECAST CORNICE TOP CAP
- (15) MASONRY CONTROL JOINT
- (16) TOP OF 12" THICK CONCRETE MASONRY
- (17) ROUGHLY CENTER WAINSCOT BREAK AND PIPE PENETRATION
- (18) METAL FASCIA GUTTER
- (19) DASHED LINE SHOWS ROOF AT CONCRETE MASONRY WALL. PROVIDE 2 COURSES OF PRECISION FACED CONCRETE MASONRY WHERE SLOPED ROOF STRUCTURE CONNECTS AND FOR SUBSTRATE AT FLASHING
- (20) TOP OF ROUGH OPENING OF DOORS AND BOTTOM OF CONCRETE LINTEL
- (21) CONCRETE LINTEL
- (22) NOT USED
- (23) NOT USED
- (24) PROCESS PIPE
- (25) SPLIT FACED 12" CONCRETE MASONRY AT PROCESS PIPE.
- (26) RAIN WATER LEADER (NOT SHOWN FOR CLARITY ON WEST AND EAST ELEVATIONS.)
- (27) NOT USED
- (28) JOIST BEARING ELEVATION
- (29) JOIST BEARING ELEVATION
- (30) RAIN WATER OUTLET
- (31) SCUPPER
- (32) PRECAST CONCRETE CAP AT WAINSCOT
- (33) TOP ELEVATION OF PRECAST CONCRETE CAP AT WAINSCOT
- (34) 80" x 80" LOUVER



EAST ELEVATION
1/4" = 1'-0"



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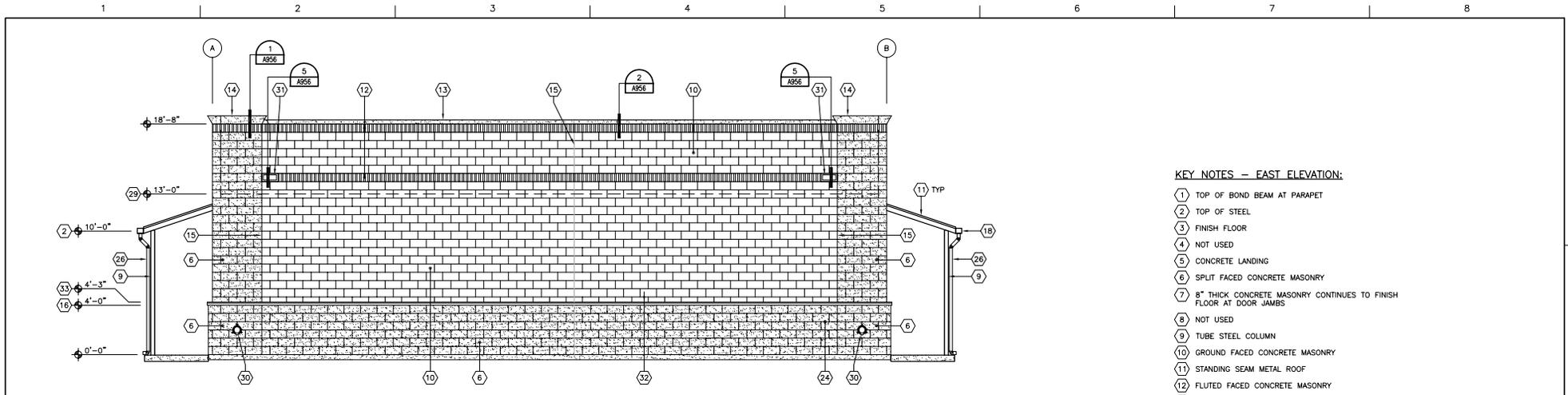
PROJECT MANAGER	R. STRATTON
DESIGNED BY	M. LAMBERT
DRAWN BY	M. MENDOZA
CHECKED BY	
CHECKED BY	
DATE	JUNE 2010
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PRELIMINARY
NOT FOR CONSTRUCTION

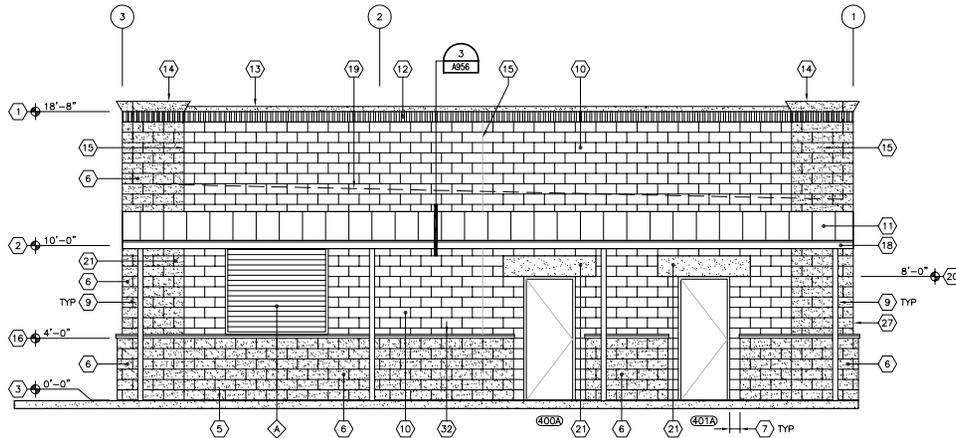


CITY OF LODI
SURFACE WATER TREATMENT FACILITY

HIGH SERVICE PUMP STATION EXTERIOR ELEVATIONS I		DRAWING A602	
		FILENAME	131898-A602.dwg
SCALE		1/4" = 1'-0"	



SOUTH ELEVATION
1/4" = 1'-0"



WEST ELEVATION
1/4" = 1'-0"

KEY NOTES -- EAST ELEVATION:

- (1) TOP OF BOND BEAM AT PARAPET
- (2) TOP OF STEEL
- (3) FINISH FLOOR
- (4) NOT USED
- (5) CONCRETE LANDING
- (6) SPLIT FACED CONCRETE MASONRY
- (7) 8" THICK CONCRETE MASONRY CONTINUES TO FINISH FLOOR AT DOOR JAMBS
- (8) NOT USED
- (9) TUBE STEEL COLUMN
- (10) GROUND FACED CONCRETE MASONRY
- (11) STANDING SEAM METAL ROOF
- (12) FLUTED FACED CONCRETE MASONRY
- (13) PRECAST CONCRETE TOP CAP
- (14) PRECAST CORNICE TOP CAP
- (15) MASONRY CONTROL JOINT
- (16) TOP OF 12" THICK CONCRETE MASONRY
- (17) NOT USED
- (18) METAL FASCIA GUTTER
- (19) DASHED LINE SHOWS ROOF AT CONCRETE MASONRY WALL. PROVIDE 2 COURSES OF PRECISION FACED CONCRETE MASONRY WHERE SLOPED ROOF STRUCTURE CONNECTS AND FOR SUBSTRATE AT FLASHING
- (20) TOP OF ROUGH OPENING OF DOORS AND BOTTOM OF CONCRETE LINTEL
- (21) CONCRETE LINTEL
- (22) NOT USED
- (23) NOT USED
- (24) PROCESS PIPE
- (25) SPLIT FACED 12" CONCRETE MASONRY AT PROCESS PIPE.
- (26) RAIN WATER LEADER (NOT SHOWN FOR CLARITY ON WEST AND EAST ELEVATIONS.)
- (27) NOT USED
- (28) JOIST BEARING ELEVATION
- (29) JOIST BEARING ELEVATION
- (30) RAIN WATER OUTLET
- (31) SCUPPER
- (32) PRECAST CONCRETE CAP AT WAINSCOT
- (33) TOP ELEVATION OF PRECAST CONCRETE CAP AT WAINSCOT



HDR Engineering, Inc.

ISSUE	DATE	DESCRIPTION
3	06/2010	90% DESIGN REVIEW
2	08/2010	60% DESIGN REVIEW
1	01/2010	30% DESIGN REVIEW

PROJECT MANAGER	R. STRATTON
DESIGNED BY	M. LAMBERT
DRAWN BY	M. MENDOZA
CHECKED BY	
DATE	JUNE 2010
PROJECT NUMBER	343957-131898

PRELIMINARY
NOT FOR CONSTRUCTION



CITY OF LODI
SURFACE WATER TREATMENT FACILITY

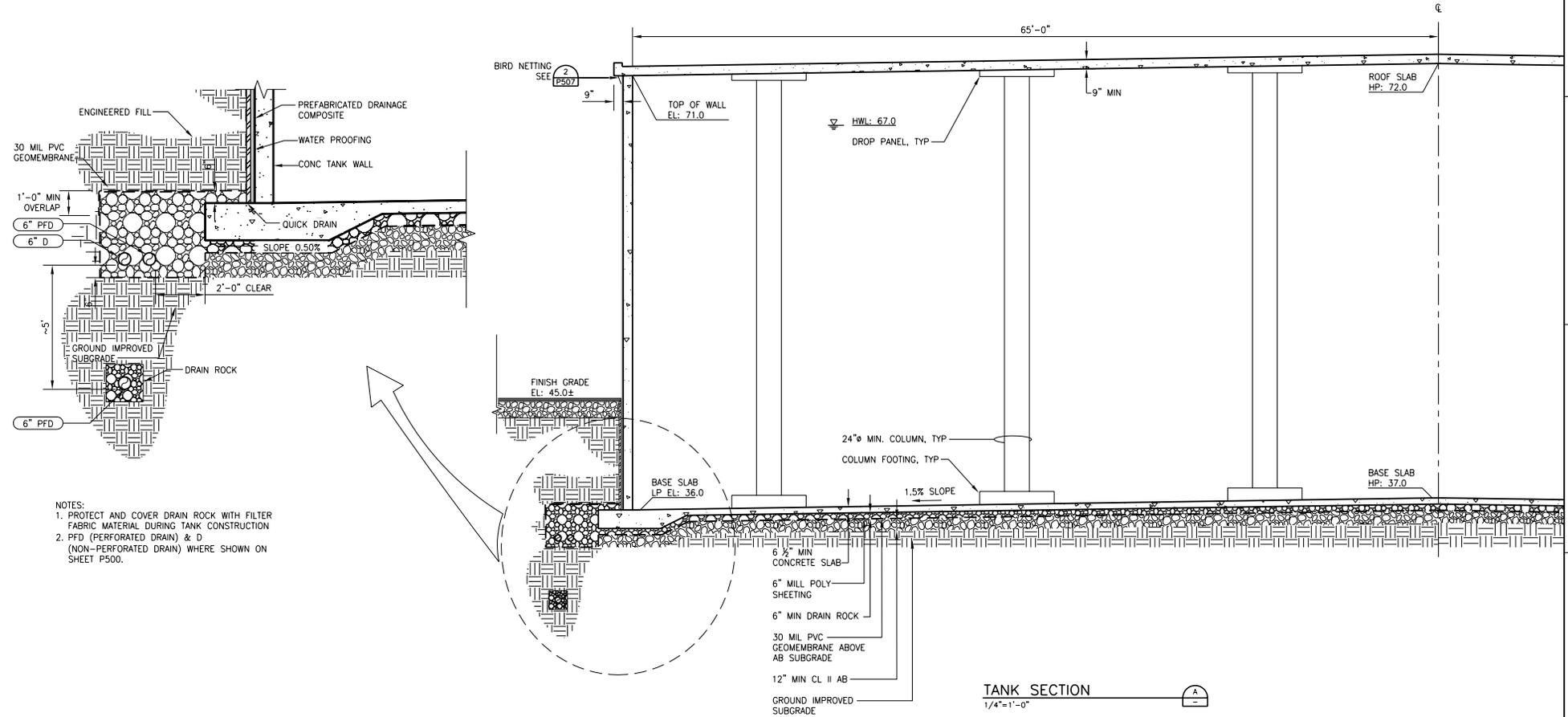


FILENAME: 131898-A603.dwg
SCALE: 1/4" = 1'-0"

DRAWING
A603

1 2 3 4 5 6 7 8

- NOTES:
1. DETAILS OF WALL FOOTING WILL VARY WITH TANK CONTRACTOR.
 2. COLUMN LOCATIONS ARE SCHEMATIC REPRESENTATION. ACTUAL LOCATIONS DETERMINED BY TANK CONTRACTOR.



- NOTES:
1. PROTECT AND COVER DRAIN ROCK WITH FILTER FABRIC MATERIAL DURING TANK CONSTRUCTION
 2. PFD (PERFORATED DRAIN) & D (NON-PERFORATED DRAIN) WHERE SHOWN ON SHEET P500.

N:\Cmnts\820-HDR\00-10-06-Lead-SWTP-Final-Design\CAD\Design\82000-1006-P502.dwg 06-11-10 04:02:10 PM ANICHOLS

WEST YOST ASSOCIATES
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HDR
 HDR Engineering, Inc.

ISSUE	DATE	DESCRIPTION
3	06/2010	90% DESIGN REVIEW
2	04/2010	60% DESIGN REVIEW
1	01-2010	30% DESIGN REVIEW

PROJECT MANAGER	R. STRATTON
DESIGNED BY	J. WANLASS
DESIGNED BY	J. FUGITT
DRAWN BY	J. FUGITT
CHECKED BY	D. JONES
CHECKED BY	
DATE	JUNE 2010
PROJECT NUMBER	343957-131898



CITY OF LODI
SURFACE WATER TREATMENT FACILITY

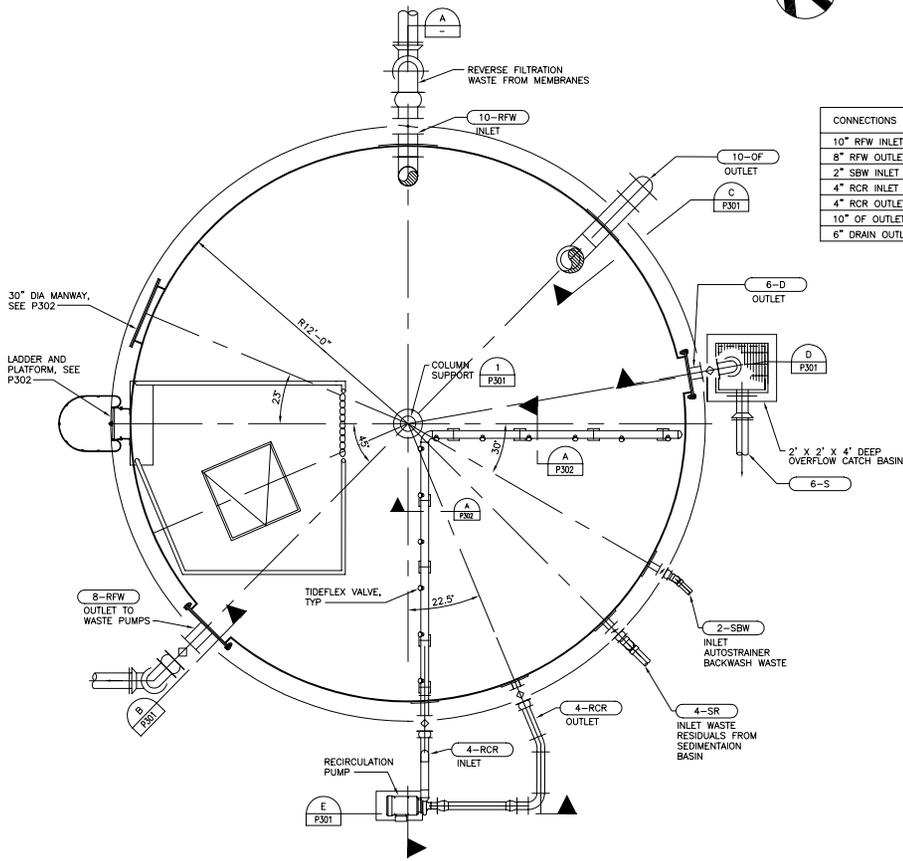
TREATED WATER STORAGE TANK TANK SECTION

0 1" 2"

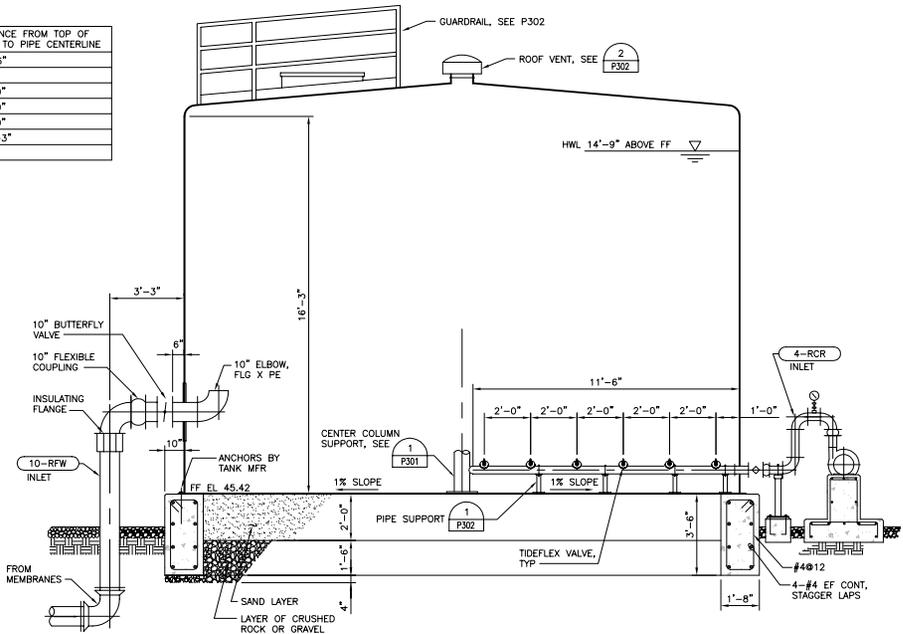
FILENAME	82000-1006 P502.dwg	DRAWING
SCALE	1/4" = 1'-0"	P502



CONNECTIONS	DISTANCE FROM TOP OF SLAB TO PIPE CENTERLINE
10" RFW INLET	3'-6"
8" RFW OUTLET	4"
2" SBW INLET	1'-0"
4" RCR INLET	1'-0"
4" RCR OUTLET	1'-0"
10" OF OUTLET	13'-3"
6" DRAIN OUTLET	3"



PLAN
3/8" = 1'-0"



SECTION
3/8" = 1'-0"



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1	01/2010	30% DESIGN REVIEW

PROJECT MANAGER	R. STRATTON
DESIGNED BY	M. BECK
DRAWN BY	D. CORNELL
CHECKED BY	
DATE	JUNE 2010
PROJECT NUMBER	343957-131898



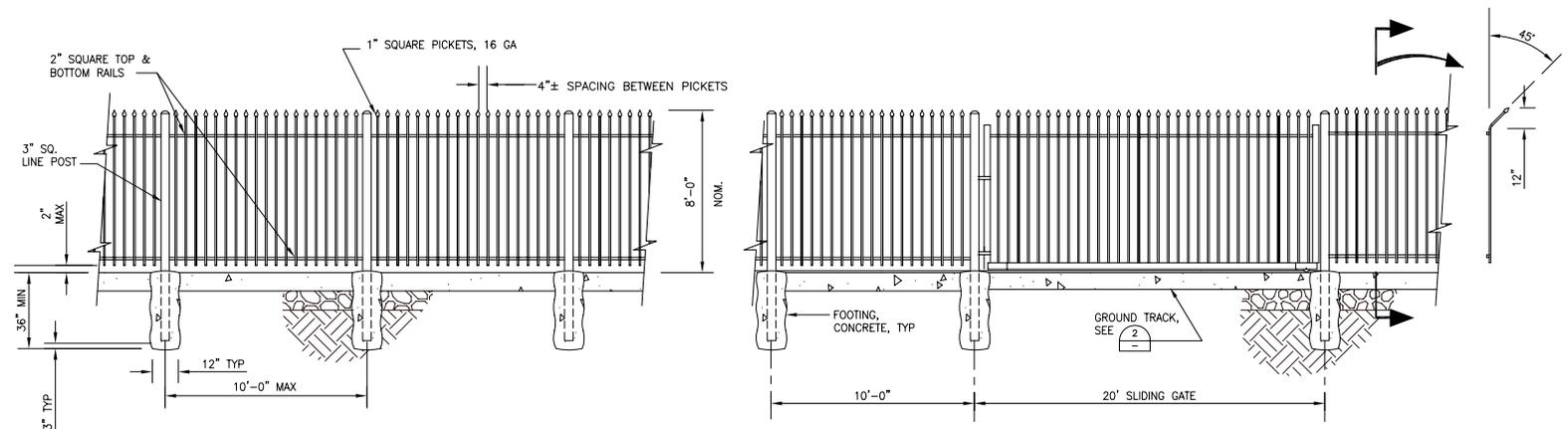
CITY OF LODI
SURFACE WATER TREATMENT FACILITY



FILENAME	131898-P-300.dwg
SCALE	3/8" = 1'-0"

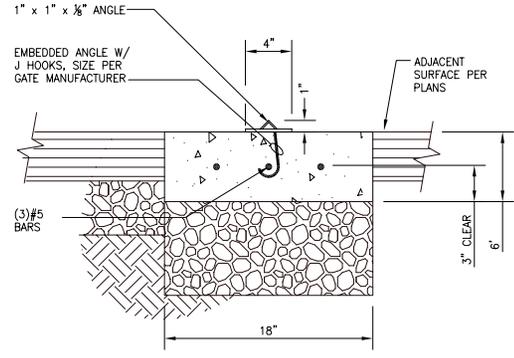
DRAWING
P300

1 2 3 4 5 6 7 8

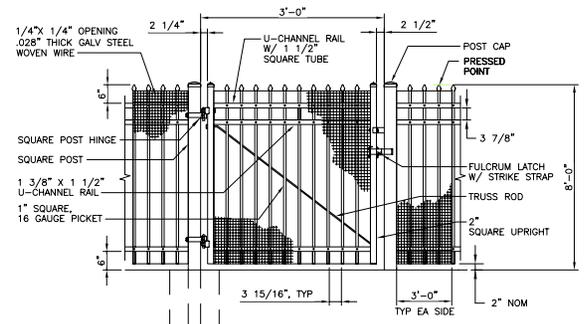


NOTE:
1. PROVIDE TAMPER PROOF TYPE BOLTS FOR MECHANICAL CONNECTIONS

IRON FENCE INSTALLATION
NTS

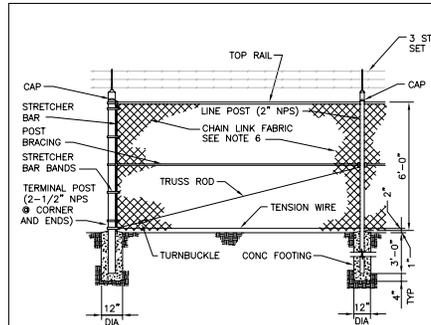


GROUND TRACK
NTS



NOM HEIGHT (H)	8'-0"
NOM OPENING	4'-0"

NOTES:
3. FOOTING WIDTH TO BE (4)X POST WIDTH.
4. SEE PANEL & POST SELECTION SHEET FOR AVAILABLE POST SIZES.



FABRIC FENCE
02444-01

GATE POST SCHEDULE	
LEAF SPAN	NOMINAL DIAMETER
≤ 6'	3"
6'-12'	5"
12'-18'	6"
18'-24'	8"

- NOTES:
- SERVICE TREATMENT:
TOP: KNUCKLED
BOTTOM: TWISTED AND BARBED.
 - POSTS, BRACES, AND RAILS TO BE SCHEDULE 40.
 - SINGLE LEAF GATES TO BE REINFORCED SIMILAR TO DOUBLE SWING GATE DETAIL.
 - FINISHED GRADE PER SITE GRADING.
 - GATE FABRIC TO MATCH THAT USED IN FENCE.
 - ZINC COATED 9 GAGE STEEL 2" MESH.



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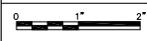
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DESIGNED BY	M. BECK
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CHECKED BY	
DATE	JUNE 2010
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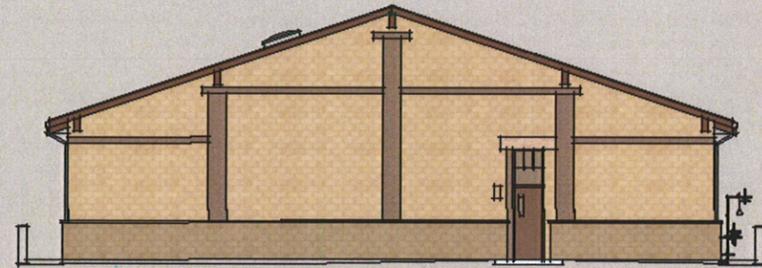


CITY OF LODI
SURFACE WATER TREATMENT FACILITY

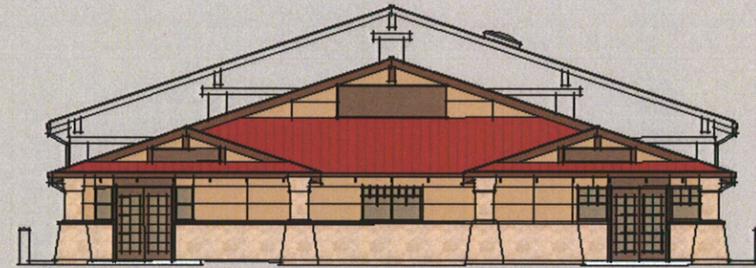
FENCE DETAILS



FILENAME	131898-C-09.dwg	DRAWING
SCALE	AS NOTED	C09



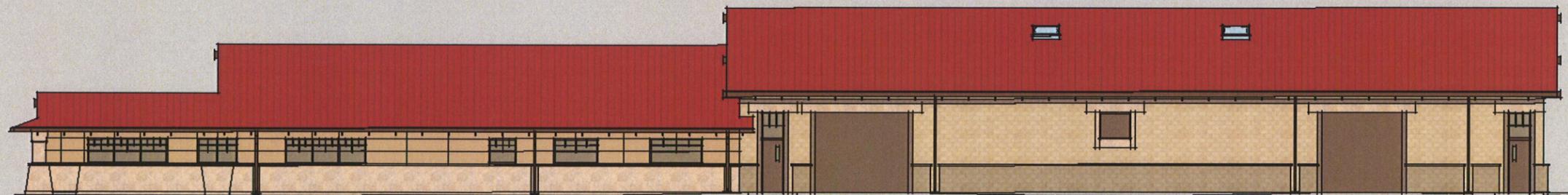
WEST ELEVATION



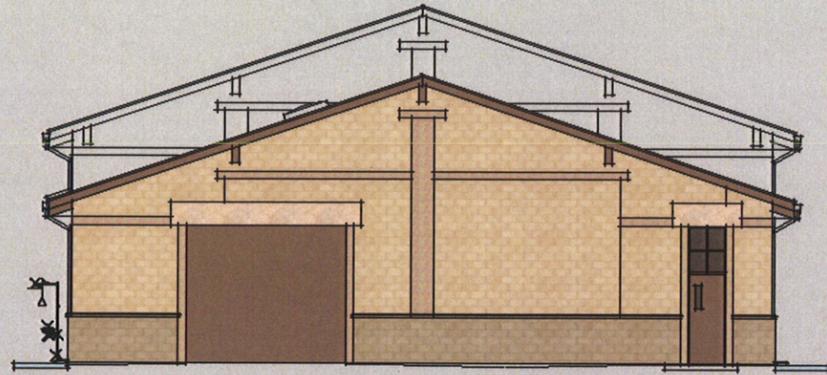
EAST ELEVATION



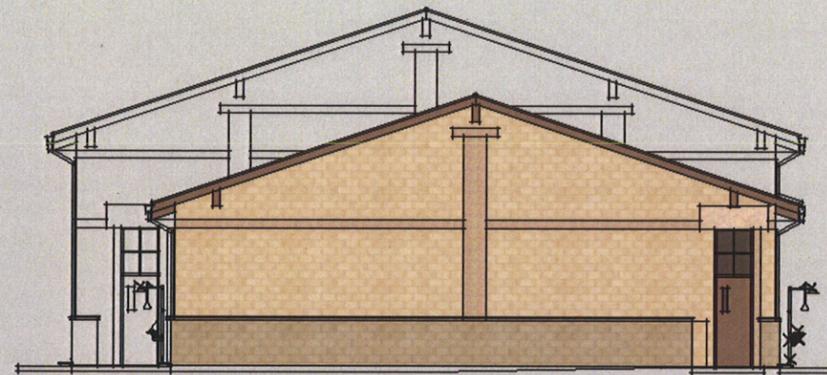
SOUTH ELEVATION



NORTH ELEVATION



NORTHWEST ELEVATION



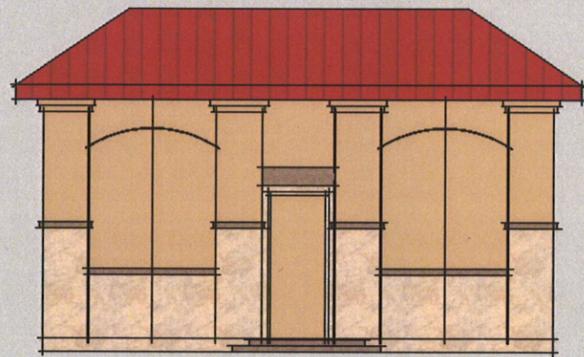
SOUTHEAST ELEVATION



SOUTHWEST ELEVATION



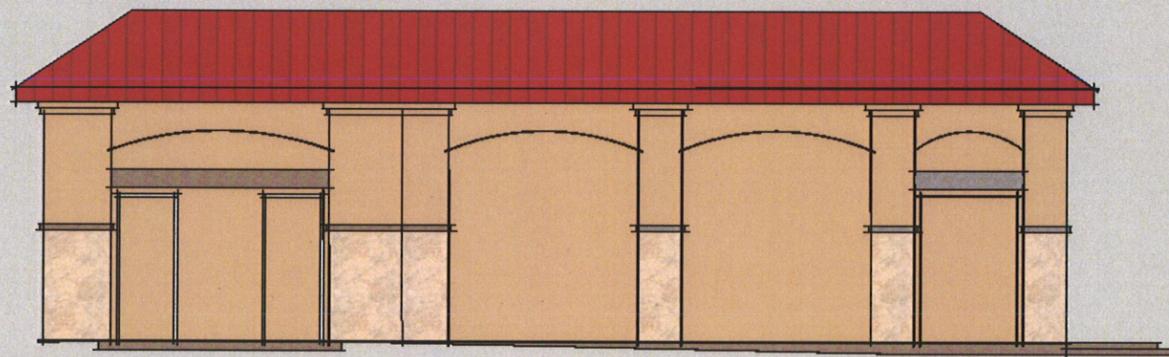
NORTHEAST ELEVATION



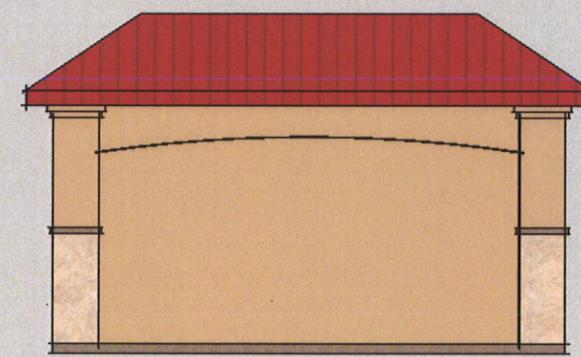
CAROLINA ELEVATION



LOWER SACRAMENTO ELEVATION



NORTH ELEVATION



EAST ELEVATION

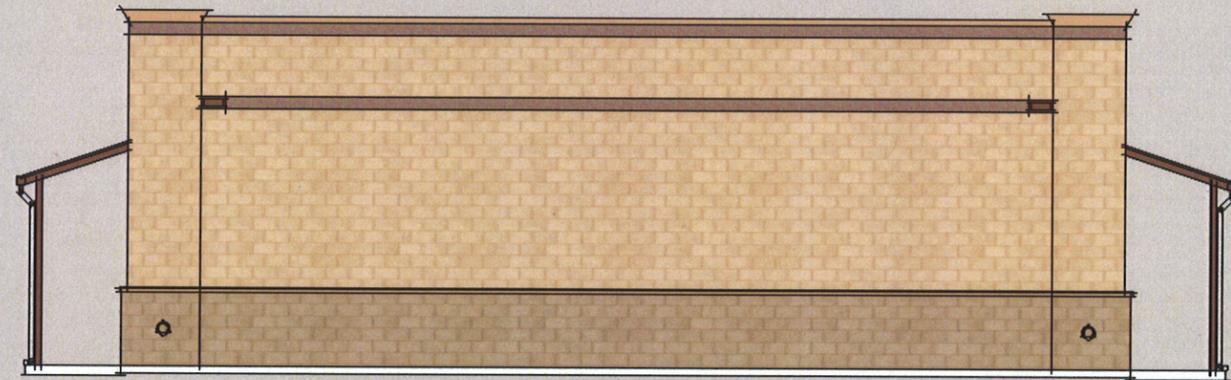
RAW WATER PUMP STATION / CITY OF LODI / SURFACE WATER TREATMENT FACILITY

07/02/2010





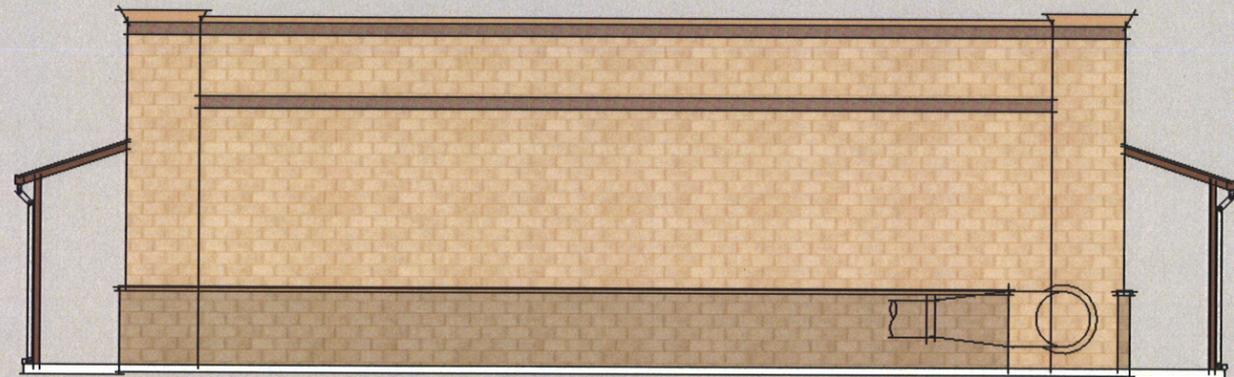
WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION

HIGH SERVICE PUMP STATION / CITY OF LODI / SURFACE WATER TREATMENT FACILITY

07/02/2010

