

<p>CARNEGIE FORUM 305 WEST PINE STREET LODI, CALIFORNIA</p>	<p>AGENDA LODI SITE PLAN & ARCHITECTURAL REVIEW COMMITTEE</p>	<p>REGULAR SESSION WEDNESDAY, APRIL 23, 2014 @ 5:15 PM</p>
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For information regarding this agenda please contact:

Kari Chadwick @ (209) 333-6711
Community Development Secretary

NOTE: All staff reports or other written documentation relating to each item of business referred to on the agenda are on file in the Office of the Community Development Department, located at 221 W. Pine Street, Lodi, and are available for public inspection. If requested, the agenda shall be made available in appropriate alternative formats to persons with a disability, as required by Section 202 of the Americans with Disabilities Act of 1990 (42 U.S.C. Sec. 12132), and the federal rules and regulations adopted in implementation thereof. To make a request for disability-related modification or accommodation contact the Community Development Department as soon as possible and at least 24 hours prior to the meeting date.

1. ROLL CALL
2. MINUTES
 - a. “November 13, 2013”
3. REVIEW ITEMS
 - a. Request of Site Plan and Architecture Review Committee (SPARC) to consider Site Plan and Architectural Review of Mokelumne Station – 651 N. Cherokee Lane. (Applicant: Lee Purdue; File Number: 2014-08 SP; CEQA Determination: Exempt Per Section 15301)
 - b. Request of Site Plan and Architecture Review Committee (SPARC) to consider Site Plan and Architectural Review of Lodi Iron Works – 800 South Sacramento Street. (Applicant: Lodi Iron Works; File Number: 2014-10 SP; CEQA Determination: Exempt Per Section 15303)
 - c. Request of Site Plan and Architecture Review Committee (SPARC) to consider Site Plan and Architectural Review of Katakian Trust - Pine– 710 East Pine Street. (Applicant: Reggie Katakian; File Number: 2014-11 SP; CEQA Determination: Exempt Per Section 15303)
4. COMMENTS BY THE PUBLIC (NON-AGENDA ITEMS)
5. COMMENTS BY SPARC MEMBERS & STAFF (NON-AGENDA ITEMS)
6. ADJOURNMENT

Pursuant to Section 54954.2(a) of the Government Code of the State of California, this agenda was posted at least 72 hours in advance of the scheduled meeting at a public place freely accessible to the public 24 hours a day.

****NOTICE:** Pursuant to Government Code §54954.3(a), public comments may be directed to the legislative body concerning any item contained on the agenda for this meeting before (in the case of a Closed Session item) or during consideration of the item.

Right of Appeal:

If you disagree with the decision of the commission, you have a right of appeal. Only persons who participated in the review process by submitting written or oral testimony, or by attending the public hearing, may appeal.

Pursuant to Lodi Municipal Code Section 17.72.110, actions of the Planning Commission may be appealed to the City Council by filing, within ten (10) business days, a written appeal with the City Clerk and payment of \$300.00 appeal fee. The appeal shall be processed in accordance with Chapter 17.88, Appeals, of the Lodi Municipal Code. Contact: City Clerk, City Hall 2nd Floor, 221 West Pine Street, Lodi, California 95240 – Phone: (209) 333-6702.

**SITE PLAN AND ARCHITECTURAL
REVIEW COMMITTEE MEETING
CARNEGIE FORUM, 305 WEST PINE STREET
WEDNESDAY, NOVEMBER 13, 2013
MINUTES**

1. CALL TO ORDER / ROLL CALL

The Regular Site Plan and Architectural Review Committee meeting of Wednesday, November 13, 2013 was called to order by Chair Kiser at 5:15 p.m.

Present: Committee Members Kirst, Stafford and Chair Kiser

Absent: Committee Members Litton

Also Present: Associate Planner Immanuel Bereket

2. MINUTES

“September 11, 2013”

MOTION / VOTE:

The Site Plan and Architecture Review Committee, on motion of SPARC Member Stafford, Kirst second, approved the Minutes of September 11, 2013 as written.

3. PUBLIC HEARINGS

- a) Notice thereof having been published according to law, an affidavit of which publication is on file in the Community Development Department, Chair Kiser called for the public hearing to consider the request of Site Plan and Architecture Review Committee (SPARC) to consider Site Plan and Architectural Review of a single story addition to an existing gas station located at 420 West Kettleman Lane. (Applicant: Sukh Singh; File Number: 13-SP-07; CEQA Determination: Categorical Exemption Pursuant to CEQA Guidelines Section 15332 In-Fill Development Projects)

Associate Planner, Immanuel Bereket, gave a brief PowerPoint presentation based on the staff report. He stated the applicant small addition to an existing gas station located at 420 West Kettleman Lane. The addition would occur where a refuse enclosure currently existing, backside of the building facing south. A new refuse enclosure would be constructed adjacent to the new addition. The carwash facility will be removed and replaced with storage facility to accommodate expansion of the smog testing business associated with the gas station. The addition will be used to accommodate a restroom, office, storage and customer waiting area.

Hearing Opened to the Public

SPARC Member Stafford proposed that Condition No. 10 be eliminated since it really serves no purpose. Mr. Kiser asked if a replacement refuse enclosure would be built. Mr. Bereket stated that condition No. 5 compels the applicant to replace the refuse enclosure that is wide enough to accommodate for recyclable and non-recyclable trash material.

Andres Stambuk, project engineer, came forward to answer questions. SPARC Member Stafford asked if he has read and understood the conditions of approval. Mr. Stambuk stated they accept the conditions of approval. Chair Kiser asked if they intend to replace the refuse enclosure. Mr. Stambuk stated that he was unaware of the requirements but his clients have no objections to Condition No. 5, which requires them

to construct a replacement refuse enclosure. Jose Garcia, construction manager, came forward to support the project. He stated that his clients need the additional storage space and waiting room. Member Stafford stated he likes the waiting room.

Public Portion of Hearing Closed

MOTION / VOTE:

The Site Plan and Architectural Review Committee on motion of SPARC Member Stafford, second by Member Kirst, approved the request of Sukh Singh for a single story addition to an existing gas station located at 420 West Kettleman Lane with the following amendment:

Condition No. 10 shall be removed from the conditions of approval.

The motion carried by the following vote:

Ayes: Kirst, Stafford and Chair Kiser
Noes: None
Absent: Litton

- b) Request for Site Plan and Architectural Review Committee approval of façade improvements to an existing building located at 10 West Oak Street. (Applicant: Rubin Larrazolo: File Number: 13-SP-08; CEQA Determination: Categorical Exemption Pursuant to CEQA Guidelines Section 15332 In-Fill Development Projects)

Associate Planner, Immanuel Bereket, gave a brief PowerPoint presentation based on the staff report. He stated that the proposed project is a request for SPARC approval for installation of a canvas awning to an existing building located at 10 West Oak Street. The subject property is located within the Lodi Downtown Business District and the proposed façade improvements require review and approval by the Site Plan and Architectural Review Committee.

Hearing Opened to the Public

Rubin Larrazolo, restaurant owner and operator, came forward to answer questions. He stated they are proposing to install the awnings so that they can use the outdoor space year round. Chair Kiser stated this would be a great addition. Member Stafford asked about the footing. Mr. Gerardo Espanoza, project architect, stated that the lateral attachment will be to the railing, which will not obscure for viewing. Member Stafford asked if Suncoast awning will be used. Mr. Espanoza stated that they intend to use a different manufacturer that has approval from the State Fire Marshall. Stafford asked if the replacement awning will be the kind that fades after a year or so. Mr. Espanoza stated that their intention is to get a better quality than a Suncoast awning. Mr. Larrazolo stated that they intend to use a local contractor to do the work.

Public Portion of Hearing Closed

MOTION / VOTE:

The Site Plan and Architectural Review Committee on motion of SPARC Member Kirst, second by Member Stafford, approved the request of Rubin Larrazolo for SPARC approval of façade improvements to an existing building located at 10 West Oak Street.

Ayes: Kirst, Stafford and Chair Kiser
Noes: None
Absent: Litton

4. **COMMENTS BY THE PUBLIC**

No Comments.

5. **COMMENTS BY SPARC MEMBERS AND STAFF**

No Comments.

6. **ADJOURNMENT**

There being no further business to come before the Site Plan and Architectural Review Committee, the meeting was adjourned at 6:15 p.m.

ATTEST:

Immanuel Bereket
Associate Planner

Item 3a



CITY OF LODI
SITE PLAN AND ARCHITECTURAL REVIEW COMMITTEE
Staff Report

MEETING DATE: April 23, 2014

APPLICATION NO: 2014-08 SP

REQUEST: Request of Site Plan and Architecture Review Committee (SPARC) to consider Site Plan and Architectural Review of Mokelumne Station – 651 N. Cherokee Lane. (Applicant: Lee Purdue; File Number: 2014-08 SP; CEQA Determination: Exempt Per Section 15301)

LOCATION: 651 North Cherokee Lane
Lodi, CA 95240
APN: 140-104-80

APPLICANT: Mr. Lee Purdue
147 Stirling Ct.
Stockton, CA 95210

PROPERTY OWNER: Bruce Bates
4175 Bluestone Ct.
Acampo, CA 95220

RECOMMENDATION

Staff recommends the Site Plan and Architectural Review Committee approve the request of Mr. Purdue for the proposed façade and site improvements to the existing Mokelumne Station located at 651 north Cherokee Lane, subject to the SPARC Common Design Requirements and Supplemental Conditions outlined below at the end of the staff report.

SUMMARY

The applicant proposes to rehabilitate the façade of the center by stuccoing the buildings and adding rock accents. The applicant is also making ADA improvements to the site with new concrete areas and updating the landscaping. Staff has reviewed the proposed plans for conformance with City policies, and recommends approval based upon findings and subject to conditions.

BACKGROUND / ANALYSIS

The project site is located on the northwesterly corner of Cherokee Lane and Pioneer Drive. (Attachment A) The site is comprised of an existing commercial center including two buildings with parking, and landscaping.

The applicant is proposing to:

- Stucco the existing buildings. The base will be painted Navajo White (cream color) with silver grey and oatmeal trim.

- New stone siding on the building walls.
- New concrete walkways to improve path of travel.
- New ADA parking stalls and restriping of parking lot areas.
- New privacy / security fencing for western parking lot.
- New trellis feature and other site accents
- New half-walls for privacy screening along western facing parking lot.
- New landscaping.

The applicant has provided proposed elevations and a materials board. (Attachment B and C). The project proposal helps modernize an existing commercial center with updated colors and textures.

FINDINGS

The Project has been reviewed in accordance with the City's General Plan, the Municipal Development Code standards, and the City's Design Guidelines. Based upon City evaluation and analysis, staff recommends that the SPARC adopt the findings of this report and approve the proposed modification to the existing buildings. The design and architecture of the proposed project, as conditioned, complies with the Findings for Architectural Review as required in Lodi Development Code 17.40.020 (E):

1. *The design is consistent and compatible with the design standards/guidelines of the applicable zoning district.* Comment: The project site is zoned General Commercial. The project applicant is proposing façade and site improvements that modernizes the center and is consistent with other commercial developments in Lodi while still creating a center identity. The proposal does not include new buildings on the site.
2. *The project will not interfere with the use and enjoyment of neighboring existing or future developments, and not create traffic or pedestrian hazards.* Comment: The proposal does not include any new buildings on the project site and will not create altered circulation patterns. The project does include security fencing along the western portion of the project site that will reduce public loitering in the western parking lot.
3. *The project shall maintain and enhance the affirmative, harmonious, and orderly development contemplated by the Development Code.* Comment: The proposed façade improvements are visually compatible with the rest of the neighborhood. The façade modernization will enhance the aesthetics of the commercial center.
4. *The project provides a desirable environment for its occupants, neighbors, and visiting public through good aesthetic use of durable materials, texture, and color.* Comment: The project design promotes visual environments that are of high aesthetic quality and variety.
5. *The project will not be detrimental to the public health, safety, or welfare or materially injurious to the properties or improvements in the vicinity.* Comment: A majority of the proposed improvements are to enhance path of travel, improve walkways and improve ADA access within the center.
6. Comment: The project is found to be categorically exempt from CEQA review under 14 CCR §15301. Class 1 consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or

topographical features, involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination. The key consideration is whether the project involves negligible or no expansion of an existing use. The project proposal does not increase the intensity of the project site.

CONDITIONS OF APPROVAL

In addition to the Committee's Common Design Requirements, staff recommends approval of the applicant's request for 651 North Cherokee Lane, subject to the following conditions:

1. The project proponent and/or the property owner and/or successors in interest and management shall, at their sole expense, defend, indemnify and hold harmless the City of Lodi, its agents, officers, directors and employees, from and against all claims, actions, damages, losses, or expenses of every type and description, including but not limited to payment of attorneys' fees and costs, by reason of, or arising out of, this SPARC approval. The obligation to defend, indemnify and hold harmless shall include, but is not limited to, any action to arbitrate, attack, review, set aside, void or annul this SPARC approval on any grounds whatsoever. The City of Lodi shall promptly notify the developer of any such claim, action, or proceeding and shall cooperate fully in the defense.
2. The project proponent shall submit appropriate plans to the Community Development Department for plan check and building permit. The plans shall include architectural features such as the colors, elevation including all other elements approved by the Site Plan and Architectural Review Committee. Any significant alteration to the site plan as approved by the Site Plan and Architectural Review Committee shall require an action by the Site Plan and Architectural Review Committee. Minor changes, however, may be approved subject to review and approval of the Community Development Director.
3. The developer/applicant shall construct and operate the project in strict compliance with the approvals granted herein, City standards, laws, and ordinances, and in compliance with all State and Federal laws, regulations, and standards. In the event of a conflict between City laws and standards and a State or Federal law, regulation, or standard, the stricter or higher standard shall control.
4. A final color palette shall be submitted with the first building permit application and shall be in substantial conformance with colors and materials approved by the SPARC.
5. The project proponent shall provide a trash enclosure. The said enclosures shall be constructed of split face C.M.U. block and shall match the color of the buildings so that the visual and acoustic impacts of these functions are fully contained and out of view from adjacent properties and public streets, and no attention is attracted to the functions by the use of screening materials that are different from or inferior to the principal materials of the building and landscape. The enclosures shall also have metal gates and shall have roof features per the City's Stormwater Design Standard Plan requirements.
6. Trash enclosures shall be designed to accommodate separate facilities for trash and recyclable materials. Trash enclosures having connections to the wastewater system shall install a sand/grease trap conforming to Standard Plan 205 and shall be covered.
7. The applicant shall plant creeping vine or similar landscape material around the refuse enclosures to discourage and prevent graffiti.
8. The applicant shall submit a landscaping and irrigation plan to the Community Development Department for review and approval. Landscaping materials indicated on the conceptual landscape and irrigation plan may be changed per the review of the Community Development Director or designee but shall not be reduced in amount.

9. The applicant shall select and note on all plans common tree species for the parking lot and perimeter areas from the list of large trees as identified in the Local Government Commission's "Tree Guidelines for the San Joaquin Valley".
10. The subject site shall be maintained in a sanitary, litter-free, graffiti-free, and respectable appearance. Any damage or vandalism sustained to the property shall be repaired within a maximum of fourteen (14) days.
11. All signs shall be in strict compliance with the City of Lodi's Zoning Ordinances. All signage shall be subject to review and approval of the Community Development Director. All signage shall be individual channel letters or the equivalent. No exposed raceway shall be permitted with the signage. All identification signs shall require a building permit.
12. No flashing, moving, animated, temporary signs or banners shall be permitted.
13. Façade and Site Improvements shall require a building permit. All plan submittals shall be based on the City of Lodi Building Regulations and currently adopted 2013 California Building code. Please review our policy handouts for specific submittal procedures.
14. Plans to specify walkways and sidewalks along accessible routes of travel (1) are continuously accessible, (2) have maximum 1/2" changes in elevation, (3) are minimum 48" in width, (4) have a maximum 2% cross slope, and (5) where necessary to change elevation at a slope exceeding 5% (i.e., 1:20) shall have ramps complying with 2013 CBC, Section 11B-405 or 11B-406 as appropriate. Where a walk crosses or adjoins a vehicular way, and the walking surfaces are not separated by curbs, railings or other elements between the pedestrian areas and vehicular areas shall be defined by a continuous detectable warning which is 36" wide, complying with 2013 CBC, Sections 11B-247.1.2.5 & 11B-705.1.2.5.
15. The plans show a motorized vehicle gate. The gate shall provide a minimum 20' clear opening. Specify and show the gate shall be equipped with a Knox padlock or Knox box key switch, which will activate the gate when operated by the Knox key. Key operated switches shall be keyed with a sub master Knox key. The automatic gate shall have a battery back-up or manual mechanical disconnect readily accessible to emergency personnel in case of power failure. FD Standard 1A
16. The fence encloses several exit doors from the existing buildings. The occupant loads at the proposed man gates would appear to exceed 50. The plans shall show the gates swing in the direction of egress travel. 2013 CBC, Section 1008.1.2
17. Man gates must meet all applicable specifications for doors as per 2013 CBC, Section 11B-206.4 & 11B-206.4.1. Plans to specify the bottom 10" of all gates shall have a smooth, uninterrupted surface to allow the gate to be opened by a wheelchair footrest without creating a trap or hazardous condition or provide a 10" high kick plate at the bottom of the gate. 2013 CBC, Section 11B-404.2.10
18. Also, plans to specify and show the gates to have a maximum door opening effort of 5 lbs. and are equipped with single-effort, non-grasping type hardware (i.e., lever) centered between 34" and 44" above the deck surface. 2013 CBC, Sections 11B.404.2.9, 11B-404.2.7
19. Further, plans to specify and show a minimum 24" strike side clearance and a minimum 60" deep level landing at the pull side of the (exterior) gates to comply with 2013 CBC, Sections 11B-404.2.4, 11B-404.2.4.1 & Table 11B-404.2.3 (Footnote #5)
20. In addition, plans to specify and show a minimum 12" strike side clearance and a minimum 48" deep level landing at the push side of the gates, if equipped with a latch and a closer. 2013 CBC, Sections 11B-404.2.4, 11B-404.2.4.1 & Table 11B-404.2.3

21. Six (6) of the seven (7) proposed parallel curb ramps are not the full width of the walkway, as shown on the plans. This causes a trip hazard, where the lower landing is adjacent to the upper level of the sidewalk; a change in level greater than 1/2". Amend plans to provide a barrier (such as a rail) between the changes in level, or make the parallel curb ramps the same width as the sidewalk, or use the perpendicular style curb ramp. 2013 CBC, Sections 303, 403.4, 406
22. Freestanding trellis required to have lateral design (wind and seismic) prepared by an Architect or Professional Engineer licensed in the State of California. Structural Calculations and plans are to be wet-stamped and signed by the designing professional.
23. Prior to reliance on this conditional approval, the applicant shall sign an affidavit, stating that the applicant has read, understands and will comply with the above conditions. This affidavit shall be returned to the City of Lodi Planning Division prior to issuance of a building permit.
24. Any fee due the City of Lodi for processing this project shall be paid to the City within thirty (30) calendar days of final action by the approval authority. Failure to pay such outstanding fee within the time specified shall invalidate any approval or conditional approval granted. No permits, site work, or other actions authorized by this action shall be processed by the City, nor permitted, authorized or commenced until all outstanding fees are paid in full to the City.
25. Additional comments and conditions will be provided in conjunction with the approval of a building permit for this project.

PUBLIC HEARING NOTICE:

Legal Notice for the Use Permit was published in the Lodi News Sentinel on Saturday, April, 12 2014. Fifty-three (53) public hearing notices were sent to all property owners of record within a 300-foot radius of the project site as required by California State Law §65091 (a) 3. Public notice also was mailed to interested parties who expressed their interest of the project.

Respectfully Submitted,

Concur,

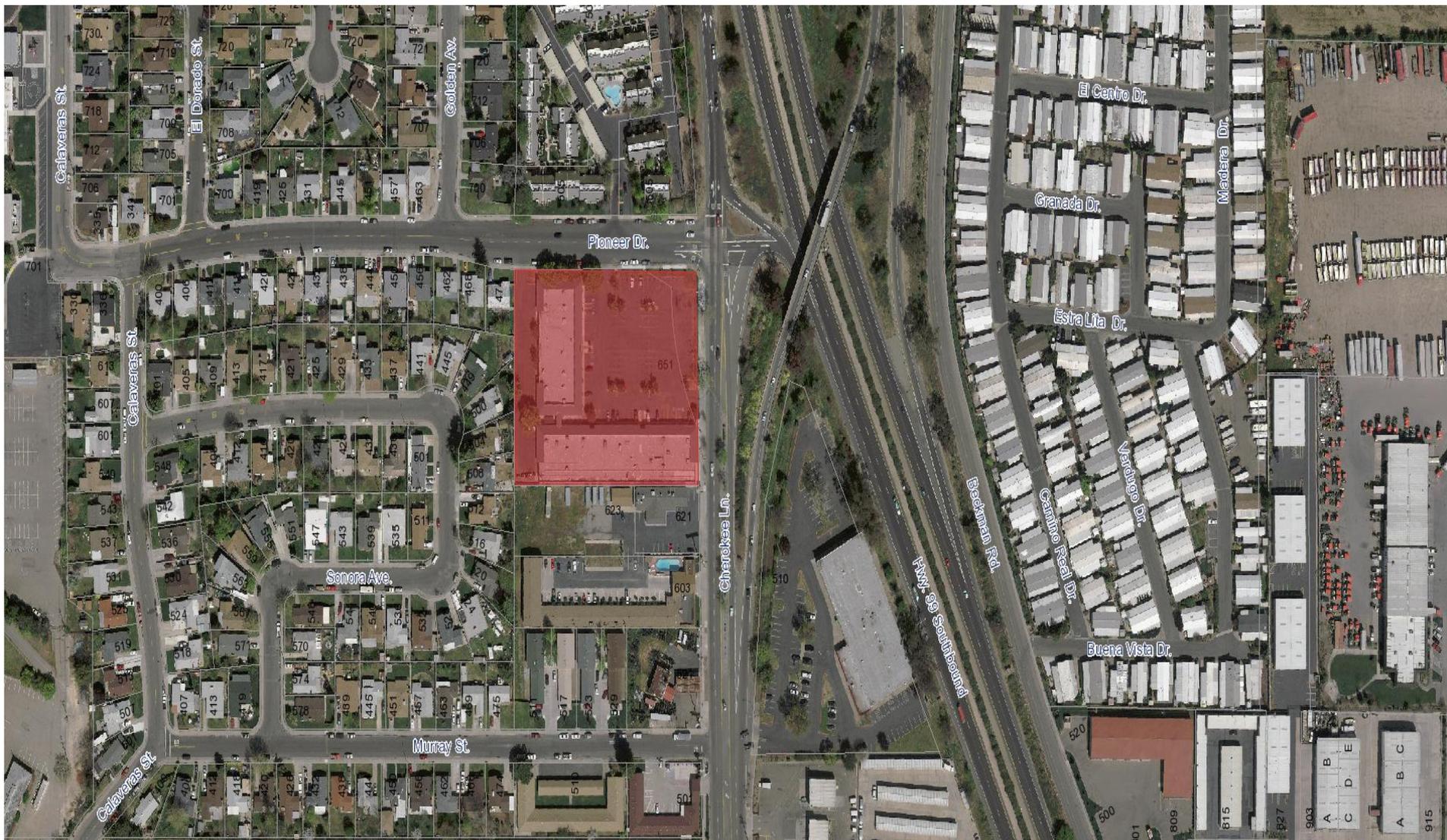
Craig Hoffman
Senior Planner

Stephen Schwabauer
Interim Community Development Director

ATTACHMENTS:

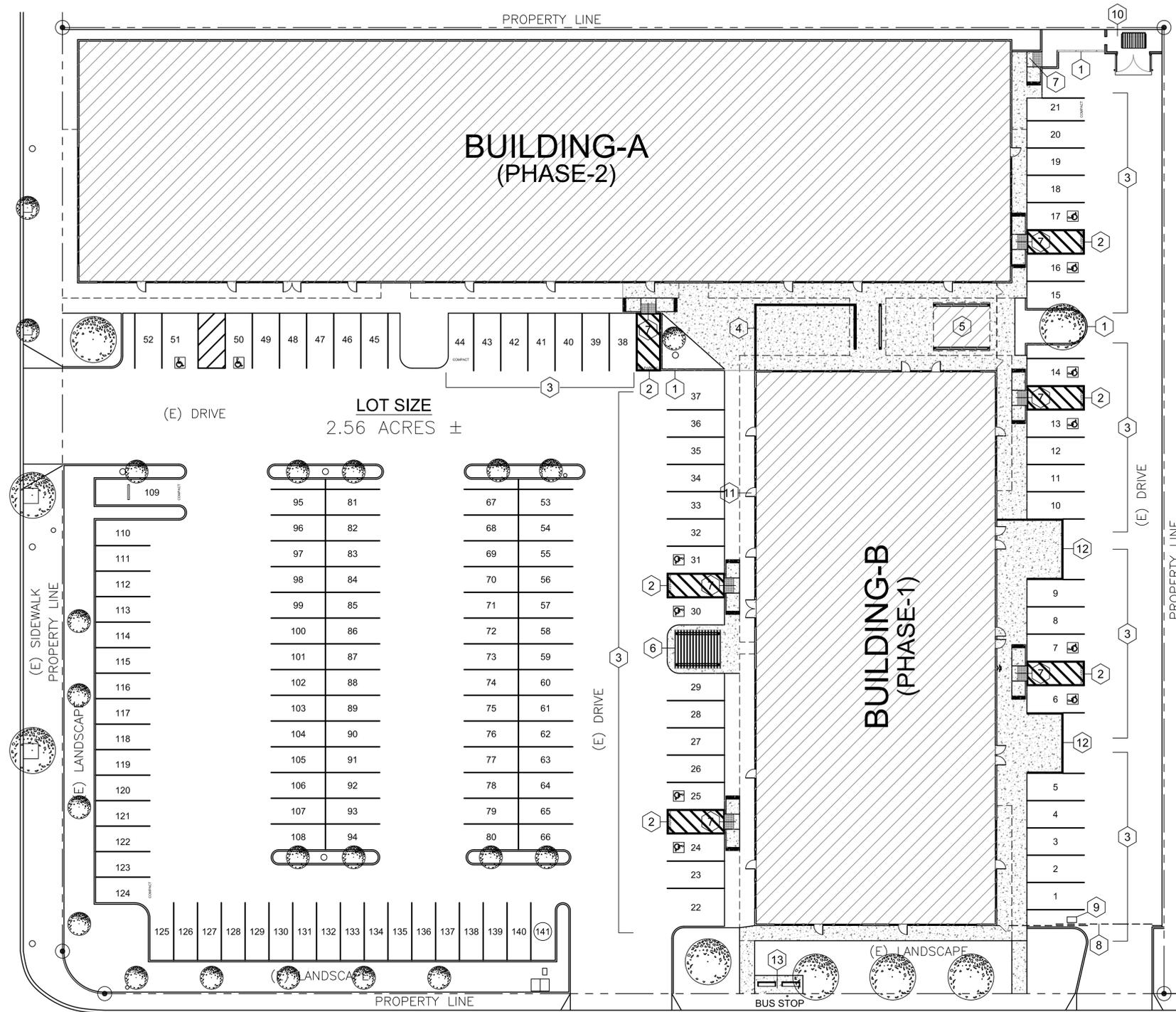
- A. Vicinity / Aerial Map
- B. Elevations
- C. Exterior Finish Material Board

VICINITY / AERIAL MAP



651 North Cherokee Lane

N. CHEROKEE LN



PIONEER DR.

PROPOSED SITE PLAN
SCALE: 1" = 20'



CONSTRUCTION KEYNOTES

- 1 • NEW 6" CURB
- 2 • NEW ADA PARKING STALL. SEE DETAILS ON SHEET-C1. ADA PARKING STALLS ARE EXISTING AND TO BE UPDATED IN PHASE-2
- 3 • EXISTING PARKING STALLS TO BE RE-STRIPPED
- 4 • ADD NEW 6 FT. TALL FENCE. STUCCO TO MATCH BUILDING
- 5 • EXISTING TRELLIS. PAINT TO MATCH BUILDING
- 6 • NEW TRELLIS. TO MATCH EXISTING TRELLIS
- 7 • NEW ACCESSIBILITY SLOPE. SEE DETAILS ON SHEET-C1
- 8 • ANN NEW IRON FENCE WITH ELECTRIC GATE
- 9 • APPROXIMATE LOCATION OF GATE MOTOR
- 10 • ENCLOSE EXISTING TRASH AREA. CONSTRUCT WITH A 32" MIN. PEDESTRIAN OPENING
- 11 • ADD NEW DOOR. MATCH EXISTING BUILDING STANDARD. SEE DOOR SCHEDULE ON SHEET-A3
- 12 • NEW 48" TALL CMU PRIVACY SCREEN
- 13 • CONTRACTOR TO INSTALL NEW CONCRETE PAD AT EXISTING BUS STOP. CITY OF LODI MAY COORDINATE WITH OWNER TO INSTALL BENCHES

= NEW CONCRETE



STREAMLINE DIGITAL DESIGN
 Or visit us at: www.streamlinedigitaldesign.com
 Phone / Fax: (209) 951-4527
 E-Mail: leadstreamline@comcast.net
 PLAN DESIGNER: LEE PURDUE

JURISDICTION
 BUILDING DEPARTMENT
 NAME: CITY OF LODI
 ADDRESS: 221 W. PINE ST. LODI, CA 95240
 PHONE: 209-333-6711

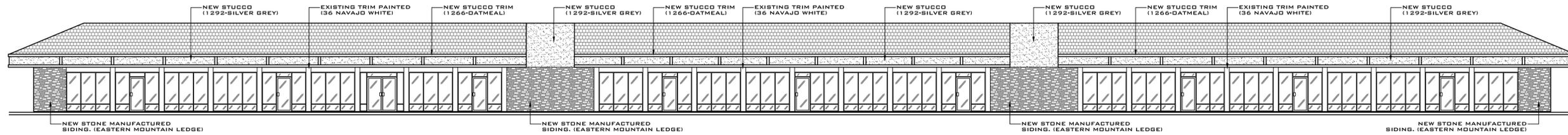
OWNER
 BUILDING OWNER
 NAME: BRUCE BATES
 ADDRESS: 4175 BLUESTONE CT. ACAMPO, CA 95220
 PHONE: 209-334-0337

GEN. CONTRACTOR
 CONTRACTOR
 COMPANY: T.B.D.
 NAME:
 LIC #:
 ADDRESS:
 PHONE:

PROPOSED SITE PLAN
 CONSTRUCTION SITE
 SITE ADDRESS: 651 N. CHEROKEE LN. LODI, CA 95240
 SITE APN: 140-104-80

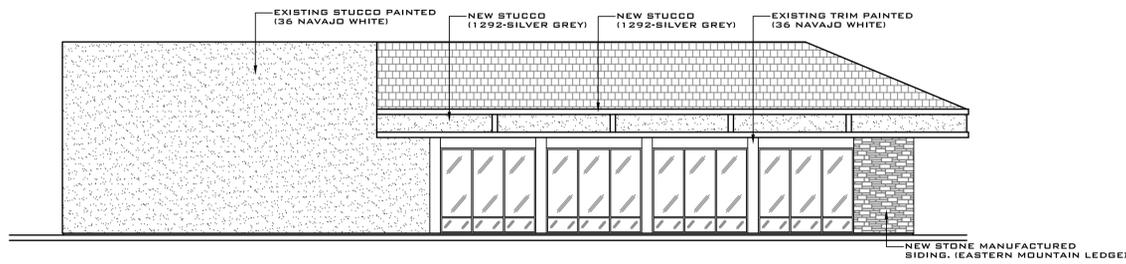
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 FILE NAME: 14-0224-CHEROKEE
 DRAWING SCALE: 1" = 20'

C2



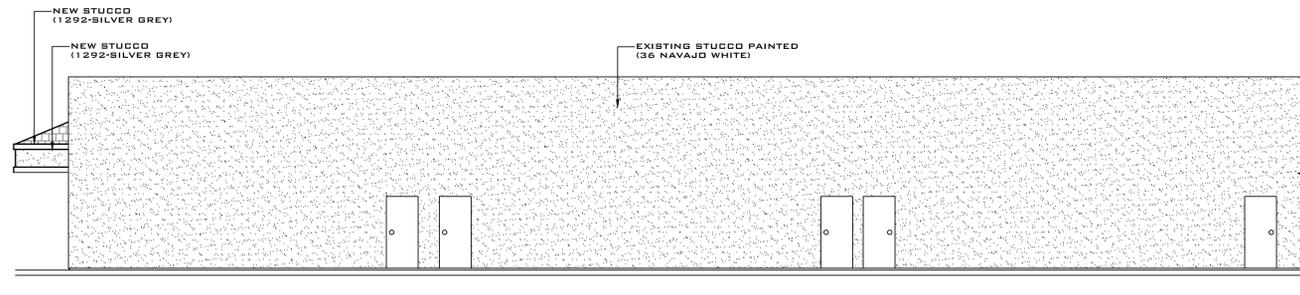
BUILDING-B ELEVATION NORTH SIDE

SCALE: N.T.S.



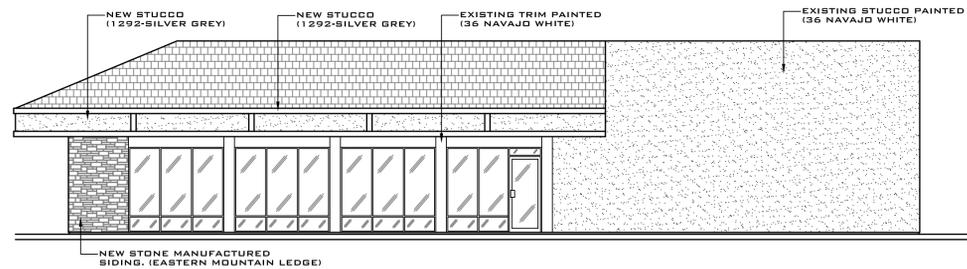
BUILDING-B ELEVATION (EAST SIDE)

SCALE: 1/8" = 1'



BUILDING-B ELEVATION (SOUTH SIDE)

SCALE: 1/8" = 1'



BUILDING-B ELEVATION (WEST SIDE)

SCALE: 1/8" = 1'

**STREAMLINE
DIGITAL DESIGN**



Phone / Fax: (209) 951-4527
 Or visit us at: www.streamlinedigitaldesign.com
 Email: beststreamline@comcast.net

PLAN DESIGNER: LEE PURDUE

JURISDICTION

BUILDING DEPARTMENT
 NAME:
 CITY OF LODI
 ADDRESS:
 221 W. PINE ST.
 LODI, CA 95240
 PHONE:
 209-333-6711

OWNER

BUILDING OWNER
 NAME:
 BRUCE BATES
 ADDRESS:
 4175 BLUESTONE CT.
 ACAMPO, CA 95220
 PHONE:
 209-334-0337

GEN. CONTRACTOR

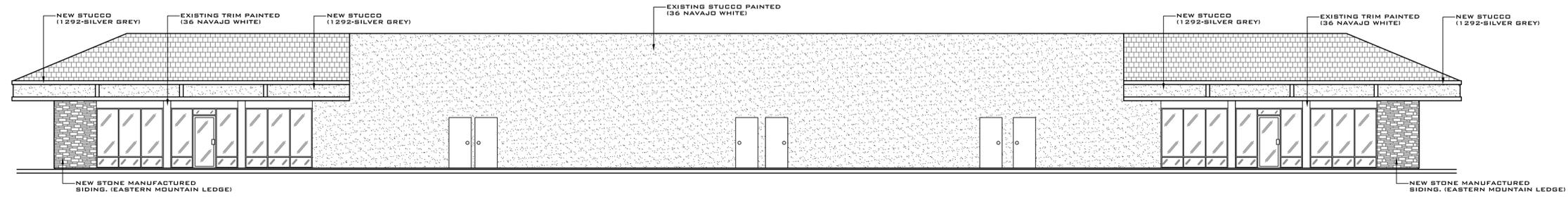
CONTRACTOR
 COMPANY:
 T.B.D.
 NAME:
 LIC #:
 ADDRESS:
 PHONE:

BUILDING-A ELEVATIONS

CONSTRUCTION SITE
 SITE ADDRESS:
 651 N. CHEROKEE LN.
 LODI, CA 95240
 SITE APN:
 140-104-80

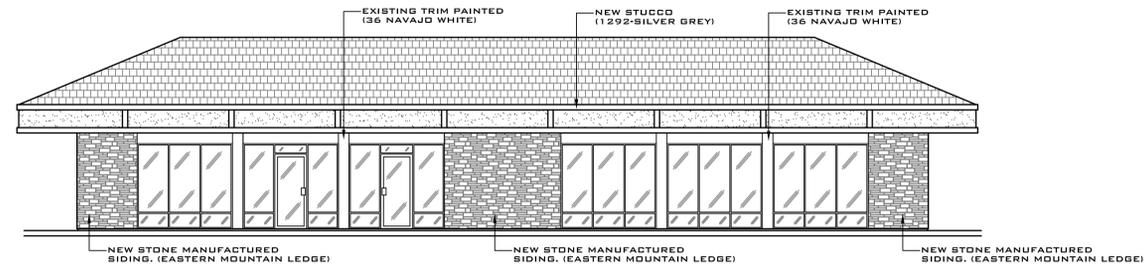
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 3-11-14
 DRAWN BY:
 L.D.P.
 FILE NAME:
 14-0224-CHEROKEE
 DRAWING SCALE:
 AS SHOWN

A1



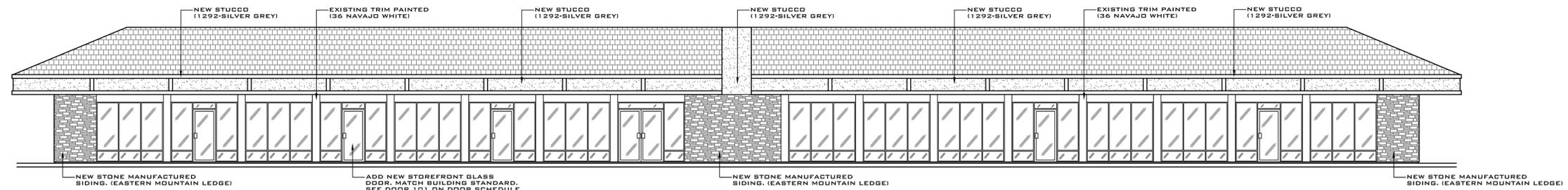
BUILDING-B ELEVATION (WEST SIDE)

SCALE: 1/8" = 1'



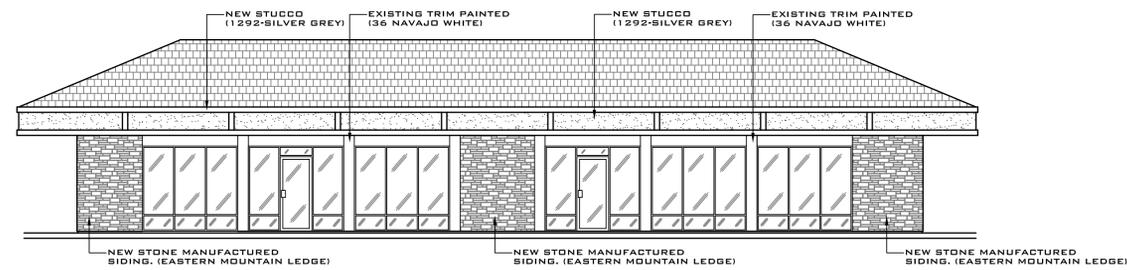
BUILDING-B ELEVATION (NORTH SIDE)

SCALE: 1/8" = 1'



BUILDING-B ELEVATION (EAST SIDE)

SCALE: 1/8" = 1'



BUILDING-B ELEVATION (SOUTH SIDE)

SCALE: 1/8" = 1'

**STREAMLINE
DIGITAL DESIGN**



Phone / Fax: (209) 951-4527
Or visit us at: www.streamlinedigitaldesign.com
Email: beststreamline@comcast.net

PLAN DESIGNER: LEE PURDUE

JURISDICTION

BUILDING DEPARTMENT

NAME:
CITY OF LODI
ADDRESS:
221 W. PINE ST.
LODI, CA 95240
PHONE:
209-333-6711

OWNER

BUILDING OWNER

NAME:
BRUCE BATES
ADDRESS:
4175 BLUESTONE CT.
ACAMPO, CA 95220
PHONE:
209-334-0337

GEN. CONTRACTOR

CONTRACTOR

COMPANY:
T.B.D.
NAME:
LIC #:
ADDRESS:
PHONE:

BUILDING-B ELEVATIONS

CONSTRUCTION SITE

SITE ADDRESS:
651 N. CHEROKEE LN.
LODI, CA 95240
SITE APN:
140-104-80

DRAWING INFORMATION

LATEST REVISION DATE:
3-11-14
DRAWN BY:
L.D.P.
FILE NAME:
14-0224-CHEROKEE
DRAWING SCALE:
1/8" = 1'

A2

CITY OF LODI

OWNER

BRUCE BATES
4175 BLUESTONE CT.
ACAMPO, CA 95220
PHONE: (209) 334-0337

SITE LOCATION

651 N. CHEROKEE LN.
LODI, CA 95240
APN: 140-104-80



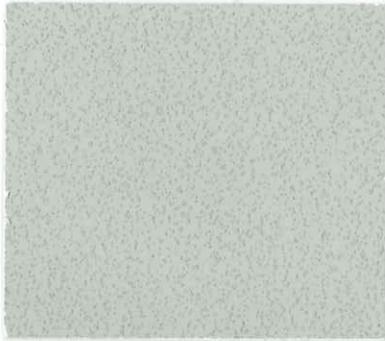
STREAMLINE DIGITAL DESIGN

PHONE / FAX: (209) 951-4527

E-Mail: lee4streamline@comcast.net

Or visit us at:

www.streamlinedigitaldesign.com



ITEMS:

EXTERIOR WALLS

MATERIAL:

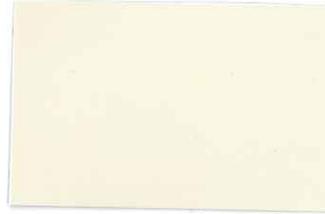
3-COAT STUCCO

COLOR:

1292-SILVER GREY

SUPPLIER:

VALLEY STUCCO
15 N. OLIVE AVE.
STOCKTON, CA 95215-5197
PHONE: (209) 466-5905



ITEMS:

EXISTING STUCCO, FASCIA,
SOFFITS, AND PAINTED TRIM

MATERIAL:

PAINTED

COLOR:

36 NAVAJO WHITE

SUPPLIER:

KELLY-MOORE PAINTS
2225 MT. DIABLO AVE.
STOCKTON, CA 95203
(209)465-3473



ITEMS:

STUCCO TRIM

MATERIAL:

3-COAT STUCCO

COLOR:

1268-OATMEAL

SUPPLIER:

VALLEY STUCCO
15 N. OLIVE AVE.
STOCKTON, CA 95215-5197
PHONE: (209) 466-5905



ITEMS:

STONE SIDING

MATERIAL:

MANUFACTURED STONE

COLOR:

EASTERN MOUNTAIN LEDGE

SUPPLIER:

CORNADO STONE
LODI, CA
WWW.CORNADO.COM
(800) 847-8663

Item 3b.



CITY OF LODI
SITE PLAN AND ARCHITECTURAL REVIEW COMMITTEE
Staff Report

MEETING DATE: April 23, 2014

APPLICATION NO: 2014-10 SP

REQUEST: Request of Site Plan and Architecture Review Committee (SPARC) to consider Site Plan and Architectural Review of Lodi Iron Works – 800 South Sacramento Street. (Applicant: Lodi Iron Works; File Number: 2014-10 SP; CEQA Determination: Exempt Per Section 15303)

LOCATION: 800 South Sacramento Street.
Lodi, CA 95240
APN: 045-330-02
Existing Lodi Iron Works is 810, 820 and 860 South Sacramento Street.

APPLICANT: Lodi Iron Works, Inc.
Mr. Kevin Van Steenberge
820 South Sacramento Street
Lodi, CA 95240

PROPERTY OWNER: Lodi Iron Works, Inc.
Mr. Kevin Van Steenberge
820 South Sacramento Street
Lodi, CA 95240

RECOMMENDATION

Staff recommends the Site Plan and Architectural Review Committee approve the request of Mr. Van Steenberge for the proposed 1,600 sq. ft. building and site improvements at 800 South Sacramento Street, subject to the SPARC Common Design Requirements and Supplemental Conditions outlined below at the end of the staff report.

SUMMARY

The applicant proposes to construct a new building adjacent to the existing Lodi Iron Works complex. The project site contains an existing driveway and parking lot. The building would be used for an expansion of the current activities on the adjacent parcel. The proposal would include a new 1,600 sq. ft. building and associated path of travel improvements that tie into existing site facilities. Staff has reviewed the proposed plans for conformance with City policies, and recommends approval based upon findings and subject to conditions.

PROJECT/AREA DESCRIPTION

General Plan Designation: Mixed Use Corridor
Zoning Designation: Mixed Use Corridor
Property Size: 0.36 acres – 15,686 sq. ft.

ADJACENT ZONING DESIGNATIONS AND LAND USES			
	GENERAL PLAN	ZONE	LAND USE
North	Mixed Use Corridor	Mixed Use Corridor	Industrial uses
South	Industrial	Industrial	Industrial uses
East	Industrial	Industrial	Railroad tracks
West	Mixed Use Corridor	Mixed Use Corridor	Residence

BACKGROUND / ANALYSIS

The project site is located on South Sacramento Street, north of Vine Street and adjacent to the railroad tracks. (Attachment A) The property contains an existing parking lot and storage of materials along the back property line. The site is screened by a chain link fence along South Sacramento Street.

The applicant is proposing to:

- Construct a new 1,600 sq. ft. industrial building that will be used to expand Lodi Iron Works operations. The metal building will be tan in color and includes a large roll-up door. (Attachment B and C)
- The new building will be accessed by an existing driveway and parking lot.
- The proposed building will require 4 parking spaces per the parking standards. These spaces are currently provided on-site.
- The proposed building meets the setback and lot coverage requirements of the Mixed Use Corridor (MCO) zoning district.

The proposed structure and use is consistent with the historical Lodi Iron Works facility.

FINDINGS

The Project has been reviewed in accordance with the City’s General Plan, the Municipal Development Code standards, and the City’s Design Guidelines. Based upon City evaluation and analysis, staff recommends that the SPARC adopt the findings of this report and approve the proposed Lodi Iron Works building. The design and architecture of the proposed project, as conditioned, complies with the Findings for Architectural Review as required in Lodi Development Code 17.40.020 (E):

1. *The design is consistent and compatible with the design standards/guidelines of the applicable zoning district. Comment.* The project incorporates elements of the design guidelines for the Mixed Use Corridor Zoning District and creates a building that will be constructed and allow the Lodi Iron Works to expand operations and create additional jobs in Lodi.
2. *The project will not interfere with the use and enjoyment of neighboring existing or future developments, and not create traffic or pedestrian hazards. Comment.* The project is consistent with the overall physical development of the site. The proposed addition properly relates to essential on-site facilities such as off-street parking, loading and unloading areas, traffic circulation and access points by providing adequate distances among buildings, parking, and pedestrian circulation areas in accordance with code requirements;

3. *The project shall maintain and enhance the affirmative, harmonious, and orderly development contemplated by the Development Code. Comment:* The proposed addition is visually, physically and functionally compatible with the existing site and neighborhood characteristics because the architecture complements adjacent buildings and the site plan is planned to function.
4. *The project provides a desirable environment for its occupants, neighbors, and visiting public through good aesthetic use of durable materials, texture, and color. Comment:* The project design promotes visual environments that are of high aesthetic quality and variety.
5. *The project will not be detrimental to the public health, safety, or welfare or materially injurious to the properties or improvements in the vicinity. Comment:* The project is consistent with the Lodi Development Code and adopted City standards. The project includes public frontage improvements and design features that enhance path of travel, improve walkways and improve ADA access within the site.
6. The project is found to be categorically exempt from CEQA review under 14 CCR §15303. Class 3 consists of construction and location of limited numbers of new, small facilities. In urbanized areas, the exemption applies to up to four buildings not exceeding 10,000 square feet in floor area on sites zoned for such use where all necessary public services and facilities are available.

CONDITIONS OF APPROVAL

In addition to the Committee's Common Design Requirements, staff recommends approval of the applicant's request for 800 South Sacramento Street, subject to the following conditions:

1. The project proponent and/or the property owner and/or successors in interest and management shall, at their sole expense, defend, indemnify and hold harmless the City of Lodi, its agents, officers, directors and employees, from and against all claims, actions, damages, losses, or expenses of every type and description, including but not limited to payment of attorneys' fees and costs, by reason of, or arising out of, this SPARC approval. The obligation to defend, indemnify and hold harmless shall include, but is not limited to, any action to arbitrate, attack, review, set aside, void or annul this SPARC approval on any grounds whatsoever. The City of Lodi shall promptly notify the developer of any such claim, action, or proceeding and shall cooperate fully in the defense.
2. The project proponent shall submit appropriate plans to the Community Development Department for plan check and building permit. The plans shall include architectural features such as the colors, elevation including all other elements approved by the Site Plan and Architectural Review Committee. Any significant alteration to the site plan as approved by the Site Plan and Architectural Review Committee shall require an action by the Site Plan and Architectural Review Committee. Minor changes, however, may be approved subject to review and approval of the Community Development Director.
3. The developer/applicant shall construct and operate the project in strict compliance with the approvals granted herein, City standards, laws, and ordinances, and in compliance with all State and Federal laws, regulations, and standards. In the event of a conflict between City laws and standards and a State or Federal law, regulation, or standard, the stricter or higher standard shall control.
4. A final color palette shall be submitted with the first building permit application and shall be in substantial conformance with colors and materials approved by the SPARC.

5. Trash enclosures shall be designed to accommodate separate facilities for trash and recyclable materials. Trash enclosures having connections to the wastewater system shall install a sand/grease trap conforming to Standard Plan 205 and shall be covered.
6. The subject site shall be maintained in a sanitary, litter-free, graffiti-free, and respectable appearance. Any damage or vandalism sustained to the property shall be repaired within a maximum of fourteen (14) days.
7. All signs shall be in strict compliance with the City of Lodi's Zoning Ordinances. All signage shall be subject to review and approval of the Community Development Director. All signage shall be individual channel letters or the equivalent. No exposed raceway shall be permitted with the signage. All identification signs shall require a building permit.
8. No flashing, moving, animated, temporary signs or banners shall be permitted.
9. The construction of the new building and related site improvements shall require a building permit. Plans have been submitted to the Building Department for review. Review pending. All plan submittals shall be based on the City of Lodi Building Regulations and currently adopted 2013 California Building code. Please review our policy handouts for specific submittal procedures.
10. Storage racks greater than 6' in height are required to be submitted under separate permit and cover. Storage racks greater than 8' in height shall be provided with structural calculations. Storage 12' or greater in height must be reviewed as high piled storage." City of Lodi Policy and Procedure B-[08]-[09]
11. Plans shall provide occupancy load calculations for each area of the building based on square footage and the applicable occupant load factor from Table 1004.1.2. 2013 CBC, Section 1004.1.2
12. Site Plan to show all building entrances and ground level exits shall be connected on an accessible route to other buildings on the site, accessible parking and to public streets and sidewalks. 2013 CBC, Sections 11B-206.1, 11B-206.2.1, 11B-206.2.2, 11B-206.2.4, 11B-206.4, 11B206.4.1.1, 11B-Division 4
13. Plans to specify walkways and sidewalks along accessible routes of travel (1) are continuously accessible, (2) have maximum 1/2" changes in elevation, (3) are minimum 48" in width, (4) have a maximum 2% cross slope, and (5) where necessary to change elevation at a slope exceeding 5% (i.e., 1:20) shall have ramps complying with 2013 CBC, Section 11B-405 or 11B-406 as appropriate. Where a walk crosses or adjoins a vehicular way, and the walking surfaces are not separated by curbs, railings or other elements between the pedestrian areas and vehicular areas shall be defined by a continuous detectable warning which is 36" wide, complying with 2013 CBC, Sections 11B-247.1.2.5 & 11B-705.1.2.5.
14. Unless the building meets one of the exceptions of 2013 CPC, Section 422.2 (allowing a unisex restroom), separate toilet facilities shall be provided for each sex. Plumbing occupant load shall be calculated using the plumbing occupant load factor specified by 2013 CPC Table A for each area use. The required number of plumbing fixtures (water closets, urinals, lavatories) shall be provided, as specified by 2013 CPC, Table 422.1.
15. Restrooms will be required to be accessible as per 2013 CBC, Section 11B-213
16. Provide an active or passive space heating system capable of maintaining a minimum indoor temperature of 68 degrees F at a point 3 foot above the finished floor of the Machine Shop. 2013 CBC, Section 1204.1

17. Prior to reliance on this conditional approval, the applicant shall sign an affidavit, stating that the applicant has read, understands and will comply with the above conditions. This affidavit shall be returned to the City of Lodi Planning Division prior to issuance of a building permit.
18. Apply for required operational permits at the Lodi Fire Department. Approval of required operational permits required prior to building permit issuance. 2013 CFC, Section 105.6. Possible permits that may be required, but not limited to:
 - Compressed Gases
 - Cutting & Welding
 - Hazardous Materials / Flammable & Combustible Liquids
 - High piled storage
 - LP-Gas
 - Misc. Combustible Storage
19. Any fee due the City of Lodi for processing this project shall be paid to the City within thirty (30) calendar days of final action by the approval authority. Failure to pay such outstanding fee within the time specified shall invalidate any approval or conditional approval granted.
20. No permits, site work, or other actions authorized by this action shall be processed by the City, nor permitted, authorized or commenced until all outstanding fees are paid in full to the City. Additional comments and conditions will be provided in conjunction with the approval of a building permit for this project.

PUBLIC HEARING NOTICE:

Legal Notice for the Use Permit was published in the Lodi News Sentinel on Saturday, April, 12 2014. Fifty-eight (58) public hearing notices were sent to all property owners of record within a 300-foot radius of the project site as required by California State Law §65091 (a) 3. Public notice also was mailed to interested parties who expressed their interest of the project.

Respectfully Submitted,

Concur,

Craig Hoffman
Senior Planner

Stephen Schwabauer
Interim Community Development Director

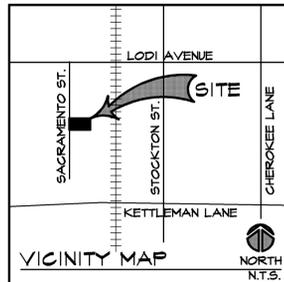
ATTACHMENTS:

- A. Vicinity / Aerial Map
- B. Elevations
- C. Color Elevation

AERIAL / VICINITY MAP



800, 810, 820 and 860 South Sacramento Street

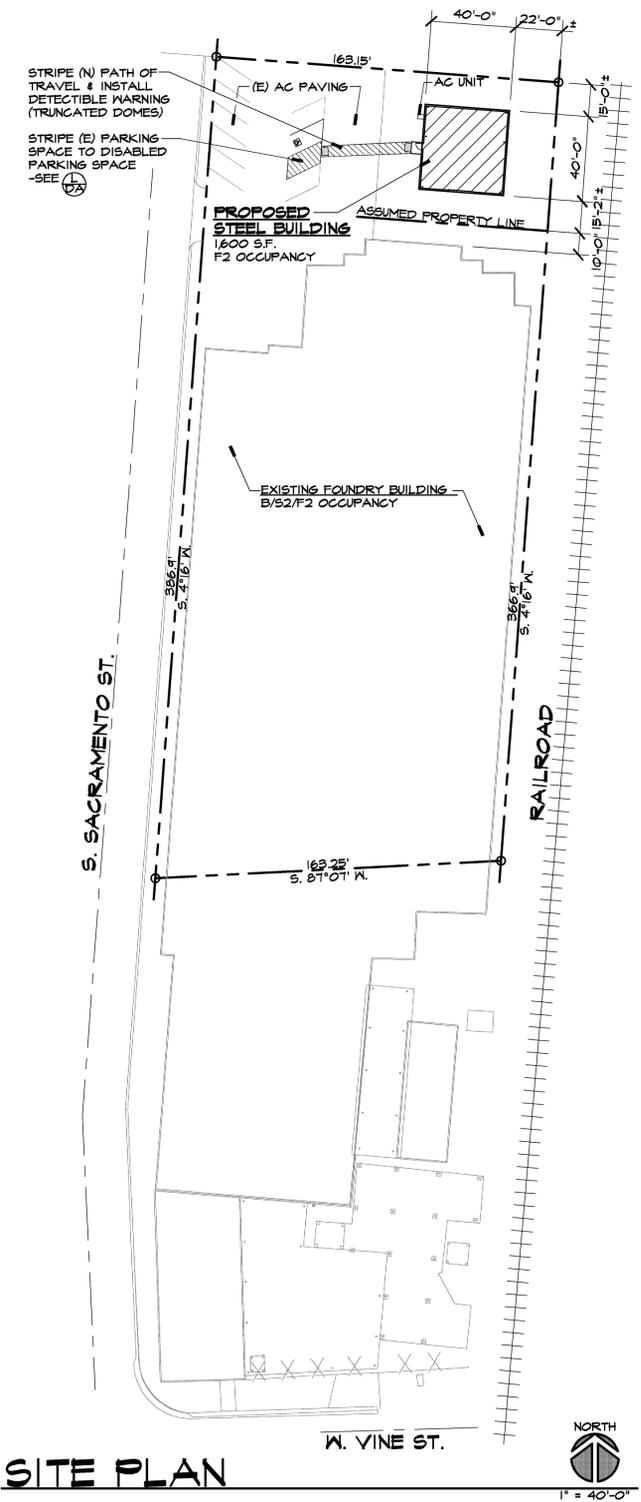


PROPOSED STEEL BUILDING FOR: LODI IRON WORKS 820 S. SACRAMENTO ST. LODI, CA

PROJECT DATA:	
PROJECT OWNER	LODI IRON WORKS 820 S. SACRAMENTO ST. LODI, CA
PROJECT LOCATION	820 S. SACRAMENTO ST. LODI, CA
APN	045-330-04
PROJECT DESCRIPTION	STEEL BUILDING
OCCUPANCY	F2
CONSTRUCTION TYPE	IIB
STORIES	ONE
OCCUPANT LOAD	16 OCCUPANTS
FIRE SPRINKLERS	NO
AREAS:	
PROPOSED BUILDING	1,600 S.F.

SHEET INDEX:	
CS	COVER SHEET, SITE PLAN, PROJECT DATA
AI	FLOOR PLAN, EXTERIOR ELEVATIONS
DA	DISABLED ACCESS STANDARDS
SI	FOUNDATION PLAN, GENERAL NOTES, DETAILS
S2	SECTIONS
E1	ELECTRICAL SITE PLAN
E2	ELECTRICAL PLAN
E3	ELECTRICAL DETAILS
ET24	LIGHTING COMPLIANCE

CODE COMPLIANCE	
ALL WORK PERFORMED SHALL BE IN ACCORDANCE TO THE LATEST EDITION OF APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO:	
<ul style="list-style-type: none"> • 2013 CALIFORNIA BUILDING CODE, (CBC) • 2013 CALIFORNIA ELECTRICAL CODE, (CEC) • 2013 CALIFORNIA GREEN BUILDING CODE, (CGBC) • 2013 CALIFORNIA MECHANICAL CODE, (CMC) • 2013 CALIFORNIA PLUMBING CODE, (CPC) • 2013 CALIFORNIA ENERGY CODE, (CEC) • 2013 CALIFORNIA FIRE CODE, (CFC) • 2013 CALIFORNIA HISTORICAL BUILDING CODE • 2013 CALIFORNIA EXISTING BUILDING CODE • 2013 CALIFORNIA REFERENCED STANDARDS CODE 	



SITE PLAN

REVISIONS	BY

MIKE SMITH ENGINEERING, INC.
 4 NORTH MAIN STREET
 LODI, CALIFORNIA 95240
 PHONE (209) 334-2332

TITLE:
**COVER SHEET
 SITE PLAN
 PROJECT DATA
 SHEET INDEX**

PROJECT:
 PROPOSED STEEL BUILDING FOR:
LODI IRON WORKS
 PROJECT LOCATION:
 820 S. SACRAMENTO ST.
 LODI, CA.

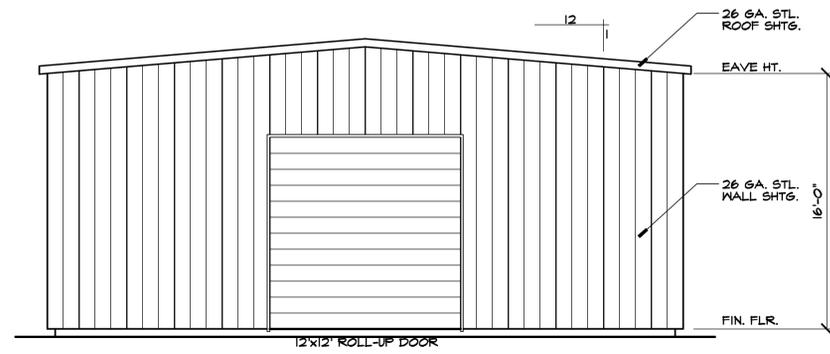


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CHECKED	MS
DATE	7/16/13
SCALE	AS NOTED
JOB NO.	15117
SHEET	

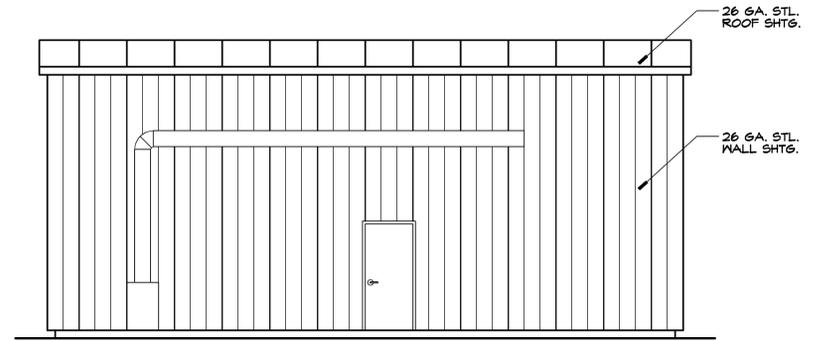
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1 OF 5 SHEETS

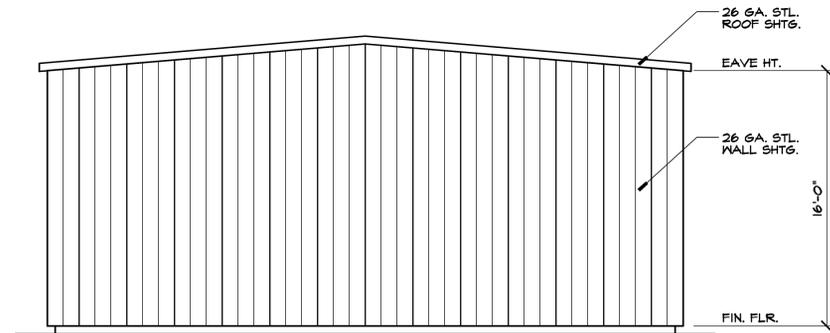
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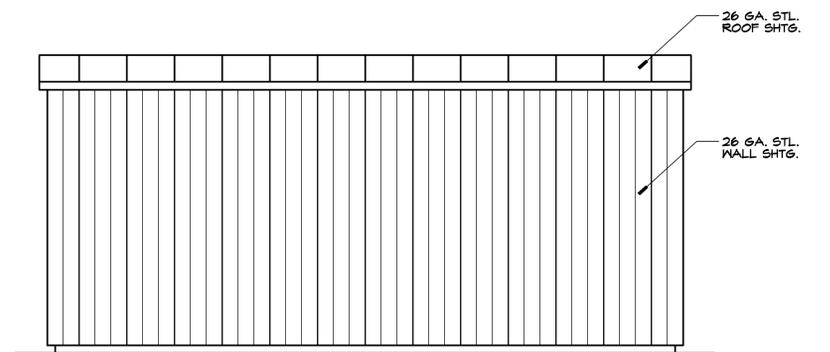
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WEST



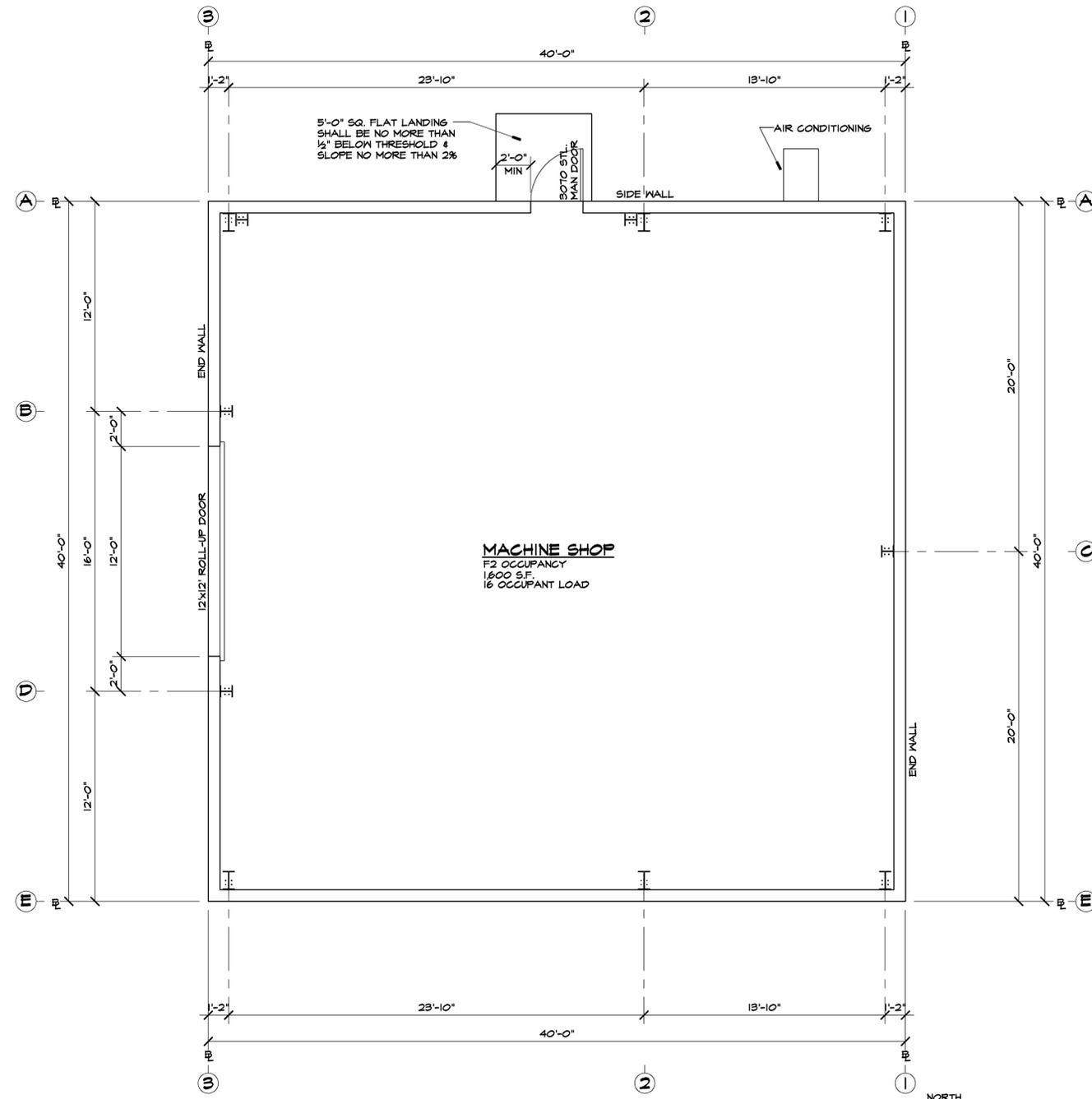
NORTH



EAST

EXTERIOR ELEVATIONS

3/16" = 1'-0"



FLOOR PLAN



1/4" = 1'-0"

REVISIONS	BY

MIKE SMITH
ENGINEERING, INC.
4 NORTH MAIN STREET
LODI, CALIFORNIA 95240
PHONE (209) 334-2332



TITLE:
FLOOR PLAN,
EXTERIOR ELEVATIONS

PROJECT:
PROPOSED STEEL BUILDING FOR:
LODI IRON WORKS
PROJECT LOCATION:
820 S. SACRAMENTO ST.
LODI, CA.

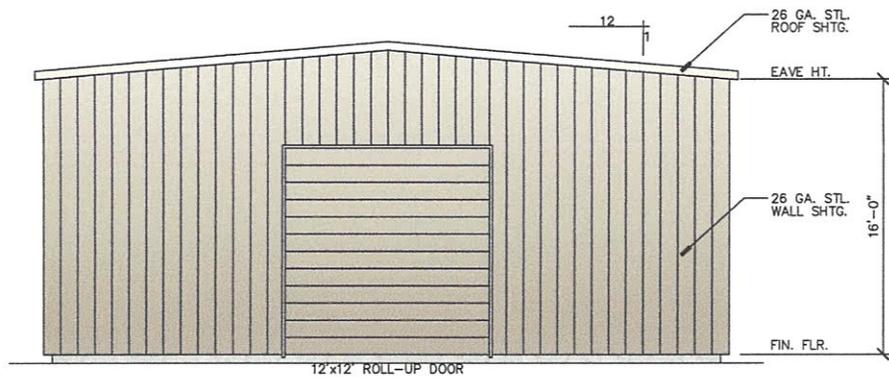


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7/15/13
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JOB NO.
13117
SHEET

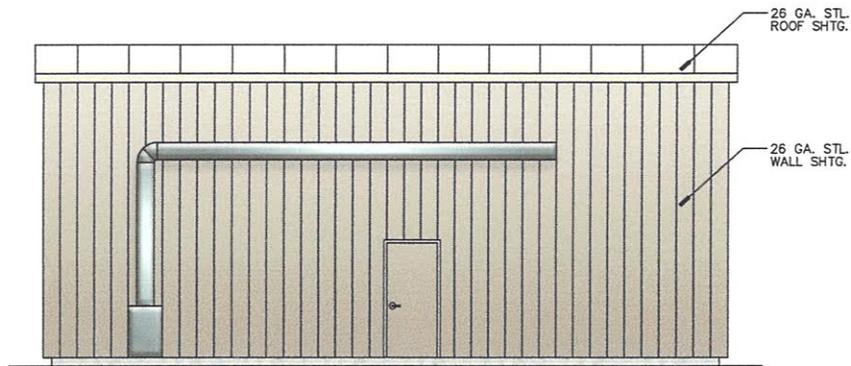
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2 OF 5 SHEETS

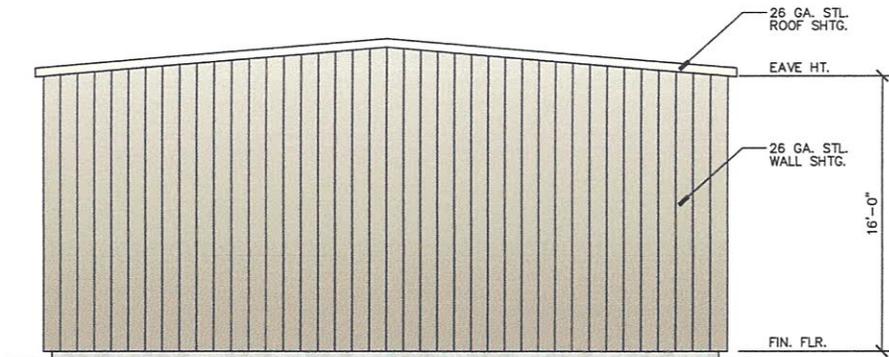
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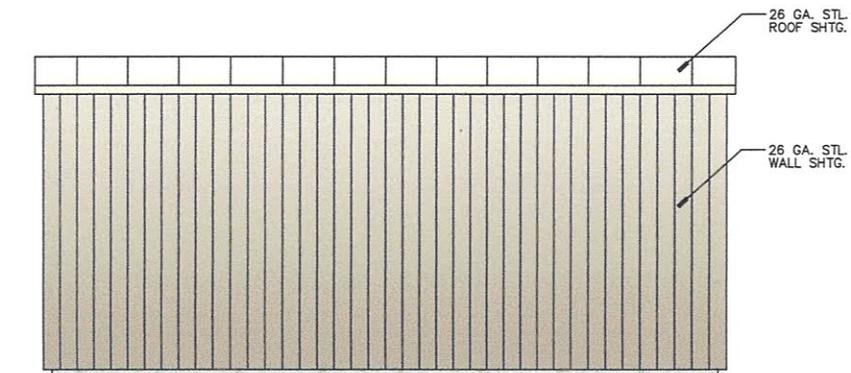
SOUTH



WEST



NORTH



EAST

EXTERIOR ELEVATIONS

Item 3c.



CITY OF LODI
SITE PLAN AND ARCHITECTURAL REVIEW COMMITTEE
Staff Report

MEETING DATE: April 23, 2014

APPLICATION NO: 2014-11 SP

REQUEST: Request of Site Plan and Architecture Review Committee (SPARC) to consider Site Plan and Architectural Review of Katzakian Trust - Pine- 710 East Pine Street. (Applicant: Reggie Katzakian; File Number: 2014-11 SP; CEQA Determination: Exempt Per Section 15303)

LOCATION: 710 East Pine Street
Lodi, CA 95240
APN: 043-230-25

APPLICANT: Katzakian Trust
Mr. Reggie Katzakian
P.O. Box 1230
Linden, CA 95236

PROPERTY OWNER: Katzakian Trust
Mr. Reggie Katzakian
P.O. Box 1230
Linden, CA 95236

RECOMMENDATION

Staff recommends the Site Plan and Architectural Review Committee approve the request of Mr. Katzakian for the proposed 9,000 sq. ft. building and site improvements at 710 East Pine Street, subject to the SPARC Common Design Requirements and Supplemental Conditions outlined below at the end of the staff report.

SUMMARY

The applicant proposes to construct a new building adjacent to an existing developed parcel. The proposal would include a new 9,000 sq. ft. building, new driveway, additional parking and connection to the existing site development. This is all one parcel. Staff has reviewed the proposed plans for conformance with City policies, and recommends approval based upon findings and subject to conditions.

PROJECT/AREA DESCRIPTION

General Plan Designation: Industrial
Zoning Designation: Industrial
Property Size: 1.01 acres – 43,995 sq. ft.

ADJACENT ZONING DESIGNATIONS AND LAND USES			
	GENERAL PLAN	ZONE	LAND USE
North	Industrial	Industrial	Industrial uses
South	Industrial	Industrial	Industrial / office uses
East	Industrial	Industrial	Vacant lot / Highway 99
West	Industrial	Industrial	Residence

BACKGROUND / ANALYSIS

The project site is located on East Pine Street, east of Cherokee Lane and adjacent to Highway 99. (Attachment A) The property contains the old DMV building (3,500 sq. ft.) along with 35 parking spaces.

The applicant is proposing to:

- Construct a new 9,000 sq. ft. industrial building that includes flex office and storage areas for industrial users. The buildings would include 6 lease spaces with roll up doors for industrial users that need large storage areas with office space. (Attachment B and C)
- The buildings are a tan color with rock accents along public frontages.
- New shared driveway with additional parking and onsite improvements that connect with existing site facilities.
- The project applicant intends to shift the building to the west for a 5 ft. setback along the western property line.
- The overall site would include 39 parking stalls. The site is appropriately parked for the existing fitness user in the old DMV building and spaces for the new industrial building.
- Typical parking standard for industrial is 1 parking space for every 500 sq. ft. – 25 spaces. This proposal includes 39 parking spaces, or 1 space for every 320 sq. ft.

The applicant has provided proposed color elevations of an existing building used as the development model (Attachment D). The project proposal is consistent with the surrounding area and provides a positive addition to the industrial building needs of Lodi.

FINDINGS

The Project has been reviewed in accordance with the City’s General Plan, the Municipal Development Code standards, and the City’s Design Guidelines. Based upon City evaluation and analysis, staff recommends that the SPARC adopt the findings of this report and approve the proposed addition to the existing site. The design and architecture of the proposed project, as conditioned, complies with the Findings for Architectural Review as required in Lodi Development Code 17.40.020 (E):

1. *The design is consistent and compatible with the design standards/guidelines of the applicable zoning district.* Comment: The project incorporates elements of the design guidelines for the Industrial Zoning District and creates a building that has needed lease space for users in Lodi.

2. *The project will not interfere with the use and enjoyment of neighboring existing or future developments, and not create traffic or pedestrian hazards.* Comment: The project is consistent with the overall physical development of the site. The proposed addition properly relates to essential on-site facilities such as off-street parking, loading and unloading areas, traffic circulation and access points by providing adequate distances among buildings, parking, and pedestrian circulation areas in accordance with code requirements;
3. *The project shall maintain and enhance the affirmative, harmonious, and orderly development contemplated by the Development Code.* Comment: The proposed addition is visually, physically and functionally compatible with the existing site and neighborhood characteristics because the architecture complements adjacent buildings and the site plan is planned to function.
4. *The project provides a desirable environment for its occupants, neighbors, and visiting public through good aesthetic use of durable materials, texture, and color.* Comment: The project design promotes visual environments that are of high aesthetic quality and variety.
5. *The project will not be detrimental to the public health, safety, or welfare or materially injurious to the properties or improvements in the vicinity.* Comment: The project is consistent with the Lodi Development Code and adopted City standards. The project includes public frontage improvements and design features that enhance path of travel, improve walkways and improve ADA access within the center.
6. Comment: The project is found to be categorically exempt from CEQA review under 14 CCR §15303. Class 3 consists of construction and location of limited numbers of new, small facilities. In urbanized areas, the exemption applies to up to four buildings not exceeding 10,000 square feet in floor area on sites zoned for such use where all necessary public services and facilities are available.

CONDITIONS OF APPROVAL

In addition to the Committee's Common Design Requirements, staff recommends approval of the applicant's request for 710 East Pine Street, subject to the following conditions:

1. The project proponent and/or the property owner and/or successors in interest and management shall, at their sole expense, defend, indemnify and hold harmless the City of Lodi, its agents, officers, directors and employees, from and against all claims, actions, damages, losses, or expenses of every type and description, including but not limited to payment of attorneys' fees and costs, by reason of, or arising out of, this SPARC approval. The obligation to defend, indemnify and hold harmless shall include, but is not limited to, any action to arbitrate, attack, review, set aside, void or annul this SPARC approval on any grounds whatsoever. The City of Lodi shall promptly notify the developer of any such claim, action, or proceeding and shall cooperate fully in the defense.
2. The project proponent shall submit appropriate plans to the Community Development Department for plan check and building permit. The plans shall include architectural features such as the colors, elevation including all other elements approved by the Site Plan and Architectural Review Committee. Any significant alteration to the site plan as approved by the Site Plan and Architectural Review Committee shall require an action by the Site Plan and Architectural Review Committee. Minor changes, however, may be approved subject to review and approval of the Community Development Director.
3. The developer/applicant shall construct and operate the project in strict compliance with the approvals granted herein, City standards, laws, and ordinances, and in compliance with all

State and Federal laws, regulations, and standards. In the event of a conflict between City laws and standards and a State or Federal law, regulation, or standard, the stricter or higher standard shall control.

4. A final color palette shall be submitted with the first building permit application and shall be in substantial conformance with colors and materials approved by the SPARC.
5. The project proponent shall provide a trash enclosure. The said enclosures shall be constructed of split face C.M.U. block and shall match the color of the buildings so that the visual and acoustic impacts of these functions are fully contained and out of view from adjacent properties and public streets, and no attention is attracted to the functions by the use of screening materials that are different from or inferior to the principal materials of the building and landscape. The enclosures shall also have metal gates and shall have roof features per the City's Stormwater Design Standard Plan requirements.
6. Trash enclosures shall be designed to accommodate separate facilities for trash and recyclable materials. Trash enclosures having connections to the wastewater system shall install a sand/grease trap conforming to Standard Plan 205 and shall be covered.
7. The applicant shall plant creeping vine or similar landscape material around the refuse enclosures to discourage and prevent graffiti.
8. The applicant shall submit a landscaping and irrigation plan to the Community Development Department for review and approval. Landscaping materials indicated on the conceptual landscape and irrigation plan may be changed per the review of the Community Development Director or designee but shall not be reduced in amount.
9. The applicant shall select and note on all plans common tree species for the parking lot and perimeter areas from the list of large trees as identified in the Local Government Commission's "Tree Guidelines for the San Joaquin Valley".
10. The subject site shall be maintained in a sanitary, litter-free, graffiti-free, and respectable appearance. Any damage or vandalism sustained to the property shall be repaired within a maximum of fourteen (14) days.
11. All signs shall be in strict compliance with the City of Lodi's Zoning Ordinances. All signage shall be subject to review and approval of the Community Development Director. All signage shall be individual channel letters or the equivalent. No exposed raceway shall be permitted with the signage. All identification signs shall require a building permit.
12. No flashing, moving, animated, temporary signs or banners shall be permitted.
13. This project appears to be a shell building. A separate and complete tenant improvement plan submittal and permit is required prior to occupancy of each tenant space and issuance of a "Certificate of Occupancy". Such plans shall specify the tenant's name, type of business, and include a complete design for: Site & Building Accessibility, Occupancy, Exiting, Sanitation, Ventilation and other Habitability elements (i.e., envelope, lighting, mechanical design and energy reports)".
14. Site Plan to show all building entrances and ground level exits shall be connected on an accessible route to other buildings on the site, accessible parking and to public streets or sidewalks. 2013 CBC, Sections 11B-206.1, 11B-206.2.1, 11B-206.2.2, 11B-206.2.4, 11B-206.4, 11B206.4.1.1, 11B-Division 4
15. Plans to specify walkways and sidewalks along accessible routes of travel (1) are continuously accessible, (2) have maximum 1/2" changes in elevation, (3) are minimum 48" in width, (4) have a maximum 2% cross slope, and (5) where necessary to change elevation at a slope exceeding 5% (i.e., 1:20) shall have ramps complying with 2013 CBC, Section 11B-405 or

11B-406 as appropriate. Where a walk crosses or adjoins a vehicular way, and the walking surfaces are not separated by curbs, railings or other elements between the pedestrian areas and vehicular areas shall be defined by a continuous detectable warning which is 36" wide, complying with 2013 CBC, Sections 11B-247.1.2.5 & 11B-705.1.2.5.

16. Office areas require an active or passive space heating system capable of maintaining a minimum indoor temperature of 68 degrees F at a point 3 foot above the finished floor. 2013 CBC, Section 1204.1
17. Restrooms will be required to be accessible as per 2013 CBC, Section 11B-213
18. The plans show the proposed building to be 8,916sqft. Lodi Municipal Code, Section 15.20.160 requires new buildings, 6,000sqft or more, to be equipped with an automatic fire sprinkler system.
19. The Fire Sprinkler system shall be submitted under a separate permit and cover to the Building Department by a C-16 licensed contractor.
20. Fire sprinkler monitoring alarm system is required by 2013 CFC, Section 903.4. The Fire Alarm System shall be submitted under a separate permit and cover to the Building Department by a C-10 licensed fire alarm contractor.
21. All automatic sprinkler systems shall require a fire department connection (FDC) in a location approved by the Fire Chief. On site FDC's shall be within 50 feet on a fire hydrant unless placed along a public street within 20 feet of the property line. FDC's shall be placed on the same side of fire access roads as the fire hydrant. Plans to show the location of the Fire Department Connection within the required distance to a hydrant.
22. An automatic fire sprinkler system shall be required for this occupancy, if (1) the fire area exceeds 5,000 sqft, (2) the occupant load is 100 or more, (3) the fire area is located on a floor other than the level of exit discharge serving such occupancies, or (4) the building contains more than one fire area containing a group A-2 occupancy and is separated into two or more buildings by fire walls less than four hour fire resistive rating without openings. 2013 CBC, Section 903.2.1.2
23. An approved Knox® Company key box shall be located adjacent to the main entrance door on the exterior of the building at 6' above finished floor. LMC 15.20.180
24. Project design and construction shall be in compliance with the City of Lodi Stormwater Development Design Standards, and Design and Construction Standards.
25. All project design and construction shall be in compliance with the Americans with Disabilities Act (ADA). Project compliance with ADA standards is the developer's responsibility.
26. Payment of the following fees prior to building permit issuance unless noted otherwise:
 - a) Filing and processing fees and charges for services performed by City forces per the Public Works Fee and Service Charge Schedule.
 - b) Stormwater Compliance Inspection Fee prior to building permit issuance or commencement of construction operations, whichever occurs first.
 - c) Regional Transportation Impact Fee (RTIF) at the time of building permit issuance.
27. Payment of the following fee prior to temporary occupancy or occupancy of the building unless noted otherwise:
 - a) Development Impact Mitigation Fees per the Public Works Fee and Service Charge Schedule.
(The fees referenced above are subject to periodic adjustment as provided by the implementing ordinance/resolution. The fee charged will be that in effect at the time of collection indicated above.)

28. Proposed driveway shall be installed in accordance with Standard Plan 114.
29. Prior to any work within City Right-of- Way, the applicant shall obtain an encroachment permit issued by the Public Works Department.
30. The existing driveway located at the easterly end of property may require replacement in order to comply with current Americans With Disability (ADA) Standards
31. The parcel is encumbered by a fifteen (15') wide PUE along the easterly boundary containing an existing storm drain pipeline, and a five (5') wide PUE along the southerly boundary containing an existing wastewater pipeline. No structures (including the trash enclosure) are allowed to be constructed within the limits of either PUE.
32. Prior to reliance on this conditional approval, the applicant shall sign an affidavit, stating that the applicant has read, understands and will comply with the above conditions. This affidavit shall be returned to the City of Lodi Planning Division prior to issuance of a building permit.
33. Any fee due the City of Lodi for processing this project shall be paid to the City within thirty (30) calendar days of final action by the approval authority. Failure to pay such outstanding fee within the time specified shall invalidate any approval or conditional approval granted. No permits, site work, or other actions authorized by this action shall be processed by the City, nor permitted, authorized or commenced until all outstanding fees are paid in full to the City.
34. Additional comments and conditions will be provided in conjunction with the approval of a building permit for this project.

PUBLIC HEARING NOTICE:

Legal Notice for the Use Permit was published in the Lodi News Sentinel on Saturday, April, 12 2014. Nineteen (19) public hearing notices were sent to all property owners of record within a 300-foot radius of the project site as required by California State Law §65091 (a) 3. Public notice also was mailed to interested parties who expressed their interest of the project.

Respectfully Submitted,

Concur,

Craig Hoffman
Senior Planner

Stephen Schwabauer
Interim Community Development Director

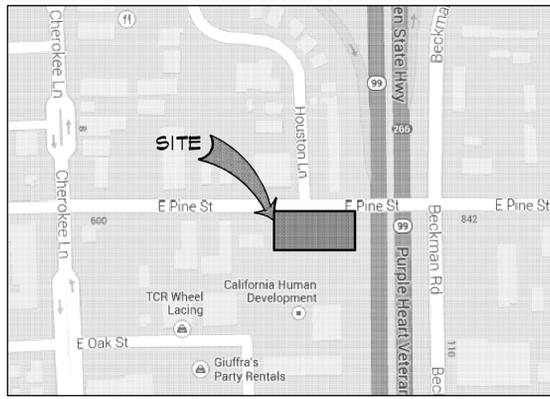
ATTACHMENTS:

- A. Vicinity / Aerial Map
- B. Site Plan
- C. Elevations
- D. Pictures

VICINITY / AERIAL MAP



710 / 716 East Pine Street



VICINITY MAP



CODE COMPLIANCE

ALL WORK PERFORMED SHALL BE IN ACCORDANCE TO THE LATEST EDITION OF APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO:

- 2013 CALIFORNIA BUILDING CODE, (CBC)
- 2013 CALIFORNIA ELECTRICAL CODE, (CEC)
- 2013 CALIFORNIA GREEN BUILDING CODE, (CGBC)
- 2013 CALIFORNIA MECHANICAL CODE, (CMC)
- 2013 CALIFORNIA PLUMBING CODE, (CPC)
- 2010 CALIFORNIA ENERGY CODE, (CEC)
- 2013 CALIFORNIA FIRE CODE, (CFC)
- 2013 CALIFORNIA HISTORICAL BUILDING CODE
- 2013 CALIFORNIA EXISTING BUILDING CODE
- 2013 CALIFORNIA REFERENCED STANDARDS CODE

PROJECT DATA:

PROJECT OWNER KATZAKIAN TRUST
 720 E. PINE STREET
 LODI, CA 95241

PROJECT LOCATION 720 E. PINE ST.
 LODI, CA 95241

PROJECT DESCRIPTION NEW COMMERCIAL
 SHELL BUILDING

OCCUPANCY AB

CONSTRUCTION TYPE VB

OCCUPANT LOAD -

STORIES ONE

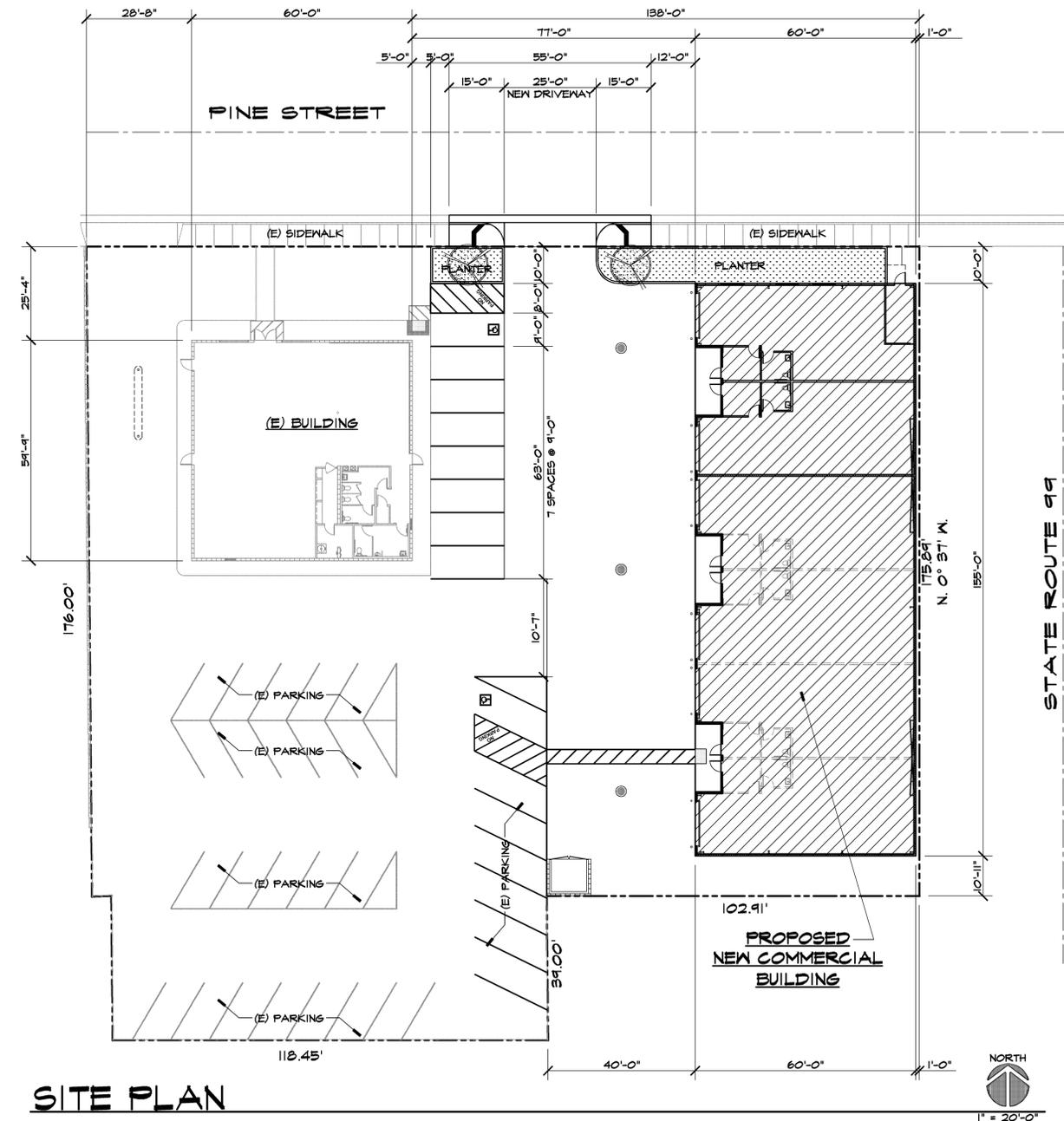
FIRE SPRINKLERS NO

AREAS:

EXISTING BUILDING 3585 S.F.

PROPOSED COMMERCIAL SHELL BLDG. 8,916 S.F.

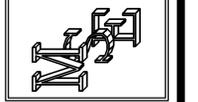
PROPOSED COMMERCIAL SHELL BUILDING FOR:
KATZAKIAN TRUST
 720 E. PINE STREET
 LODI, CA 95241



SITE PLAN

REVISIONS	BY

**MIKE SMITH
 ENGINEERING, INC.**
 4 NORTH MAIN STREET
 LODI, CALIFORNIA 95240
 PHONE (209) 334-2332



TITLE:
 COVER SHEET
 PROJECT DATA
 SITE PLAN
 SITE PLAN

PROJECT:
 PROPOSED COMMERCIAL SHELL BLDG. FOR:
KATZAKIAN TRUST
 PROJECT LOCATION:
 720 E. PINE ST.
 LODI, CA 95241



DRAWN
 JCS

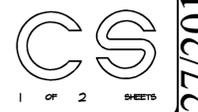
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DATE
 3/6/14

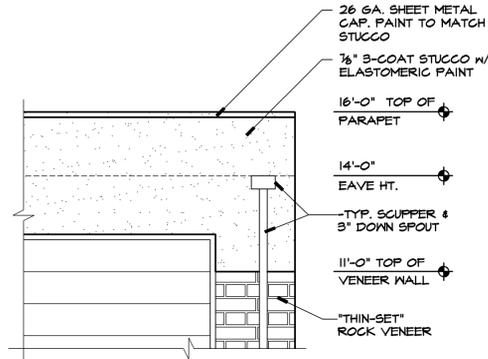
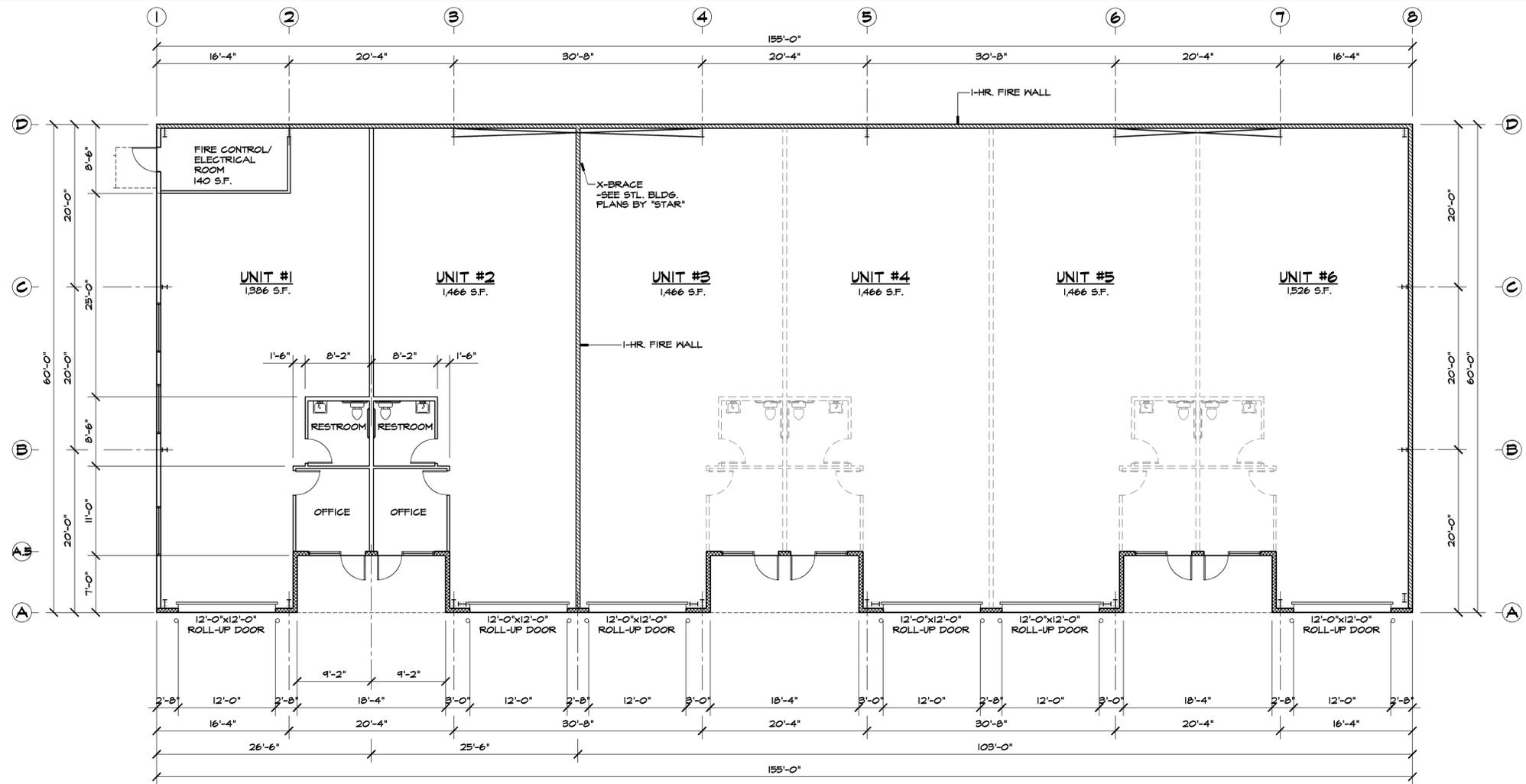
SCALE
 AS NOTED

JOB NO.
 14023

SHEET

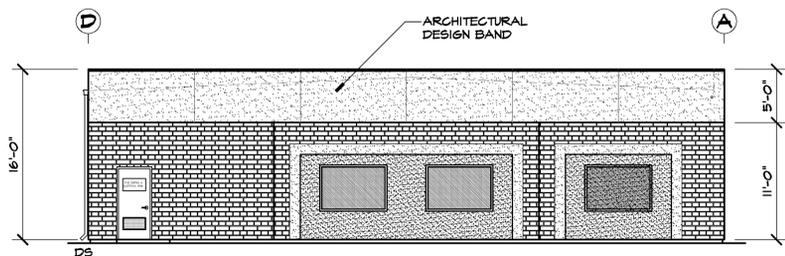


3/27/2014

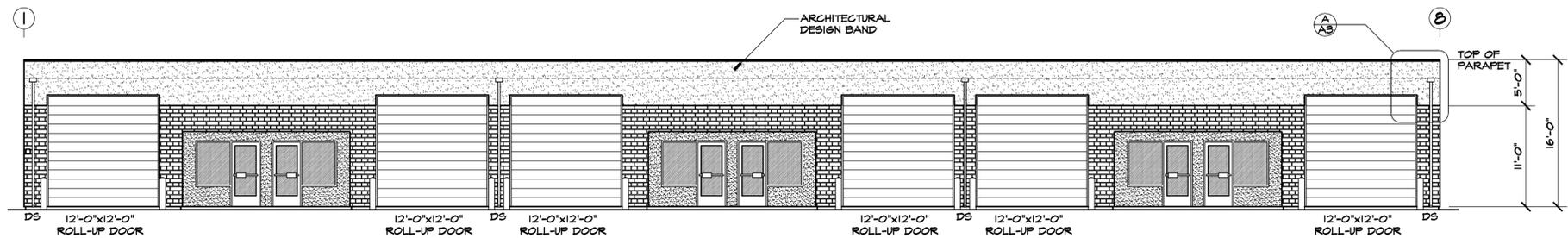


(A) PARTIAL ELEVATION
 3/8" = 1'-0"

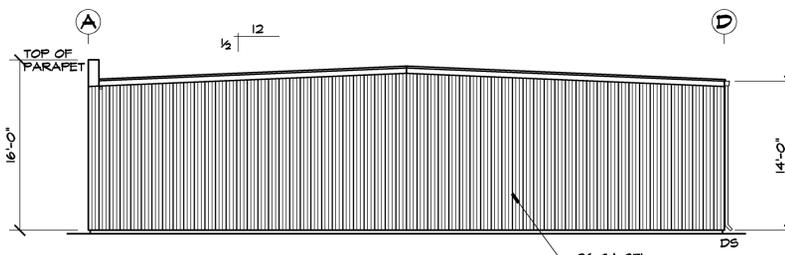
PROPOSED FLOOR PLAN
 1/8" = 1'-0"



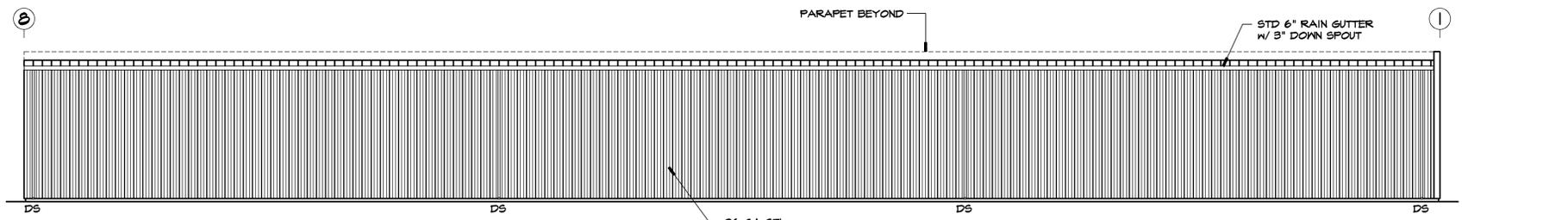
NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION

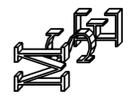


EAST ELEVATION

EXTERIOR ELEVATIONS
 1/8" = 1'-0"

REVISIONS	BY

MIKE SMITH ENGINEERING, INC.
 4 NORTH MAIN STREET
 LODI, CALIFORNIA 95240
 PHONE (209) 334-2332



TITLE:
**PROPOSED FLOOR PLAN
 EXTERIOR ELEVATIONS**

PROJECT:
 PROPOSED COMMERCIAL SHELL BLDG. FOR
KATZAKIAN TRUST
 PROJECT LOCATION:
 1320 E. FINE ST.
 LODI, CA 95241



DRAWN JCS
CHECKED MS
DATE 3/6/14
SCALE AS NOTED
JOB NO. 14023
SHEET

A1
 2 OF - SHEETS

3/27/2014



