

<p>CARNEGIE FORUM 305 WEST PINE STREET LODI, CALIFORNIA</p>	<p><b>AGENDA</b> <b>LODI</b> <b>SITE PLAN &amp;</b> <b>ARCHITECTURAL REVIEW</b> <b>COMMITTEE</b></p>	<p><b><u>REGULAR SESSION</u></b> WEDNESDAY, MAY 11, 2011 @ 5:15 PM</p>
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For information regarding this agenda please contact:

**Kari Chadwick @ (209) 333-6711**  
**Community Development Secretary**

***NOTE:** All staff reports or other written documentation relating to each item of business referred to on the agenda are on file in the Office of the Community Development Department, located at 221 W. Pine Street, Lodi, and are available for public inspection. If requested, the agenda shall be made available in appropriate alternative formats to persons with a disability, as required by Section 202 of the Americans with Disabilities Act of 1990 (42 U.S.C. Sec. 12132), and the federal rules and regulations adopted in implementation thereof. To make a request for disability-related modification or accommodation contact the Community Development Department as soon as possible and at least 24 hours prior to the meeting date.*

1. ROLL CALL
2. MINUTES – “March 9, 2011”
3. REVIEW ITEMS
  - a. Request for Site Plan and Architectural Review Committee approval to construct a new 10,275-square-foot industrial/warehouse building at 101 Hansen Drive. (Applicant, Herb Preszler Construction. File # 11-SP-04).
4. COMMENTS BY THE PUBLIC
5. COMMENTS BY SPARC MEMBERS & STAFF
6. ADJOURNMENT

Pursuant to Section 54954.2(a) of the Government Code of the State of California, this agenda was posted at least 72 hours in advance of the scheduled meeting at a public place freely accessible to the public 24 hours a day.

***\*\*NOTICE:** Pursuant to Government Code §54954.3(a), public comments may be directed to the legislative body concerning any item contained on the agenda for this meeting before (in the case of a Closed Session item) or during consideration of the item.*

**Right of Appeal:**

If you disagree with the decision of the committee, you have a right of appeal. Only persons who participated in the review process by submitting written or oral testimony, or by attending the public meeting, may appeal.

Pursuant to Lodi Municipal Code Section 17.81.070, actions of the Site Plan and Architectural Review Committee may be appealed to the Planning Commission by filing, within ten (10) business days, a written appeal with the Community Development Director and payment of \$300.00 appeal fee. The appeal shall be processed in accordance with Chapter 17.88, Appeals, of the Lodi Municipal Code. Contact: Community Development Director, City Hall 1<sup>st</sup> Floor, 221 West Pine Street, Lodi, California 95240 – Phone: (209) 333-6711.

**SITE PLAN AND ARCHITECTURAL  
REVIEW COMMITTEE SPECIAL MEETING  
CARNEGIE FORUM, 305 WEST PINE STREET  
WEDNESDAY, MARCH 9, 2011  
MINUTES**

**1. CALL TO ORDER / ROLL CALL**

The Regular Site Plan and Architectural Review Committee meeting of March 9, 2011 was called to order by Acting-Chair Stafford at 5:15 p.m.

Present: Committee Members Kirst, Kiser, Slater, and Acting-Chair Stafford

Absent: Committee Members

Also Present: Community Development Director Konradt Bartlam and Associate Planner Immanuel Bereket

**2. MINUTES**

a) February 9, 2011 minutes approved unanimously, motion by Kiser, second by Slater.

**3. REVIEW ITEMS**

a) Request for Site Plan and Architecture Review Committee to review site plan and architectural elevations for a small collection recycling facility located at the Lakewood Mall. (Applicant, Tomra Pacific, Inc.; File # 10-SP-10).

Associate Planner Bereket presented and briefly described the project. He provided background on the project. He stated that the City received a complaint that the Apple Marketplace grocery store installed a cargo container on their parcel without a City review or approval. The complaint was forwarded to the Police Department, Code Enforcement Division for investigation. In the course of the investigation, it was learned that Tomra Pacific, Inc., installed a cargo container which was used as a small recycling facility without SPARC review and approval. Further, he stated that the State of California requires grocery stores to establish State certified recycling/redemption within one half mile radius of a supermarket or, alternatively, establish a recycling center, redeem all empty beverage containers at all open cash registers within the store or pay \$100.00 per day to the state. He stated Apple Marketplace has an agreement with Tomra Pacific, Inc. to allow Tomra Pacific to establish and operate a recycling facility within their parking lot. He stated that the overall size of the facility should be 500 square foot or less, which would be consistent with other facility the applicant operates throughout northern California. He further stated that the applicant proposed two self-serving vending machines, but staff recommends that either those self-vending machines be removed or only be used when the facility is open during regular hours. The reason is the facility's automated service makes a continuous beeping noise to display an error of some sort. This noise does not stop until a staff member turns it off which is usually the next business day. He also stated that conditions of approval prohibit the use or installation of compactors.

After staff's presentation, the Committee asked a few questions about the project. SPARC Member Mr. Slater stated he visited Apple Marketplace and noticed the exact location proposed for the recycling facility is a bit removed from the store. He asked if that was a concern. Mr. Bartlam replied that this location was selected simply because there is a vacant pad to the west and that the location was visible and accessible from the public view. Mr. Slater further stated that he agrees with staff that the self-vending machines should be restricted.

Ms. Nancy Mertz, project representative, spoke on behalf of the project. She stated Tomra Pacific Inc. is a reputable recycling company. Mr. Kiser asked if there will be any staff, or an attendant, present during the hours the recycling facility is open for business. She responded that was the case but would like the reverser vending machine (self-vending machine) be allowed to operate 24/hrs. Mr. Kiser stated that staff has researched the issue and feels comfortable with restrictions imposed. He stated the restriction regarding availability of the self-vending machines was reasonable and does not impose undue hardship. Ms. Mertz stated they need the vending machines for efficiency reasons but is willing to work with any restrictions imposed on the project. Mr. Slater asked if the self-vending machines dispense money. Ms. Mertz responded that the machines dispense vouchers redeemable inside the Apple Marketplace store.

Mr. Slater asked if the facility has access to water to clean up the area and has access for trash collection. Ms. Mertz responded that the facility has access to water from Apple Market and that the facility and vicinity would be steam (power) washed once a month per their agreement. She also stated that trash collection is provided by Apple Market. Mr. Slater asked if SPARC were to amend the conditions as drafted and allowed the self-vending machines to work 24/hrs and place another condition stating that after certain amount of complaints that staff bring it back to SPARC, would that work for the City. Mr. Bartlam responded SPARC could certainly amend the draft conditions but it must be aware that complaints could come from a variety of sources and it could prove difficult to enforce. Mr. Bartlam further stated the draft conditions limited hours of operation from 8:00 am – 5:00 pm and any noise emanating from the facility would be during normal business hours. Mr. Stafford stated that the state law requires that this be allowed without punishing Apple Market; however, he expressed his concern regarding the vending machine operating during late hours.

There being no more questions, the Chair asked for any motion to approve the project.

**MOTION / VOTE:**

On motion of SPARC Member Slater, second by Member Kiser, approved the request of Tomra Pacific, Inc. to install a recycling kiosk at 1320 West Lockeford Street, subject to the SPARC Common Design Requirements and Supplemental Conditions: The vote was as follows:

Ayes: Kirst, Kiser, Slater, and acting Chair Stafford  
Noes: None  
Absent: None

- b) Request for Site Plan and Architectural Review Committee approval of an improvement along the front entrances of two vacant spaces within the Bella Terra Plaza located at 1110 West Kettleman Lane. (Applicant: Mr. Luis Bolinoo, on behalf of Bella Terra Plaza LLC; File 11-SP-02)

Associate Planner Bereket presented and briefly described the project. He stated that the applicant is seeking approval for the alteration of the exterior of the Bella Terra Plaza. Proposed Improvements involve installation of a new awning, repairs to window frames, repainting of the building front. Mr. Bereket stated that the property owners have made extensive remodeling efforts in the past and this is part of their on-going effort to improve the plaza. The plaza is utilized by a variety of uses such as dental offices, restaurants, realtor offices, etc. Tenant occupancy has dramatically increased since the renovation was completed in 2005.

After staff's presentation, SPARC members asked a few questions. SPARC Member Stafford asked if the new awning comply with ADA path of travel. Mr. Bartlam stated

that the project would require full compliance with applicable Americans With Disabilities Act and pointed to the proposed plan where it shows sufficient room for path of travel. Mr. Slater asked if the plans include any site improvements. Mr. Bereket stated the project is restricted to the building and the project does not involve any site modification. Mr. Slater asked to see where the handicap parking stalls would be located. Mr. Bartlam pointed, on the site plan, the location of the existing handicap parking stalls. Mr. Stafford asked if there were any bike racks being proposed. Mr. Bereket stated that the building already contains sufficient bicycle racks.

Mr. Luis Bolinoo, project representative, spoke on behalf of the project. He stated that these proposed exterior modifications are tenant driven and they accept the conditions as outlined. Mr. Stafford asked if the Social Security Office is the new tenant and Mr. Bolinoo confirmed that was the case.

There being no more questions, the Chair asked for a motion to approve the project.

**MOTION / VOTE:**

On motion of SPARC Member Kiser, Member Kirst second, approved the request of Mr. Luis Bolinoo, on behalf of Bella Terra Plaza LLC., to add an awning, paint doors and windows of a portion of the commercial building located at Bella Terra Plaza located at 1110 West Kettleman Lane, subject to the SPARC Common Design Requirements and Supplemental Conditions. The vote was as follows:

Ayes: Kirst, Kiser, Slater, and acting Chair Stafford  
Noes: None  
Absent: None

**3. COMMENTS BY THE PUBLIC**

No Comments.

**4. COMMENTS BY THE PUBLIC**

No Comments.

**5. COMMENTS BY SPARC MEMBERS AND STAFF**

No Comments.

**6. REORGANIZATION**

SPARC appointed Commissioner Kiser as Chair and SPARC Member Stafford as a Vice-Chair.

**7. ADJOURNMENT**

There being no further business to come before the Site Plan and Architectural Review Committee, the meeting was adjourned at 5:50p.m.

ATTEST:

Immanuel Bereket  
Associate Planner



## MEMORANDUM, City of Lodi, Community Development Department

**To:** Site Plan and Architectural Review Committee  
**From:** Immanuel Bereket, Associate Planner, Community Development Department  
**Date:** May 11, 2011  
**Subject:** Request for Site Plan and Architectural Review Committee approval to construct a new 10,275-square-foot industrial/warehouse building at 101 Hansen Drive. (Applicant, Herb Preszler Construction. File # 11-SP-04).

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### RECOMMENDATION

Staff recommends approval of the request of Mr. Herb Preszler to construct an industrial/warehouse building at 101 Hansen Drive, subject to the SPARC Common Design Requirements and Supplemental Conditions.

### SUMMARY

The applicant is proposing to construct a pre-engineered, two-story metal building that is designed to accommodate a single tenant space. The total size of the building is proposed to be 10,275-square-feet, including a mezzanine of approximately 1,530 square feet. The design of the building is intended to accommodate warehousing and showroom of party and merchandise. The project site is on Hansen Drive, directly behind the Richmaid Restaurant located on Cherokee Lane. Parking is provided at the front and rear of the building and is accessed via multiple driveways from Hansen Drive. The applicant is seeking SPARC's approval of the architectural plans for the propose building.

### EXISTING SITE AND CONTEXT

The existing 0.59 acre (25,700 sq. ft.) site north of Lodi Avenue, on Hansen Drive, is industrially zoned for light manufacturing use (M-1: Light Industrial). The site is currently vacant and is served by city utility services. The east side of the Hansen Drive block contains other industrial uses, whereas, the west side of the block contains commercial properties along Cherokee Lane (C-2: General Commercial). The project site is situated in a corner lot along Hansen Drive and provides three egress/ingress points. The project site is relatively flat, devoid of vegetation and structures.

The City's Municipal Code §17.81.030 (D) mandates all nonresidential buildings proposed for construction in M-1 zoning district which abut upon areas zoned C-2 zones are subject to site plan and architectural (SPARC) review and approval.

### ANALYSIS

The request is to review and approve site plan and elevations of pre-engineered metal building at 101 Hansen Drive and associated site development, including parking and landscaping. The site measures approximately 0.59 acre (25,700 sq. ft.) in area and is zoned Light Industrial. The proposed development involves a warehouse building of 10,275 square feet in size. The proposed building includes showroom, office, warehouse, bathroom, laundry room and a mezzanine for storage purposes. New landscaping is proposed to be added to the rear of the property and parkway.

Architecture – The design of the metal buildings could be identified as a typical industrial building. Standing seam metal roofs with large overhangs and braces, corrugated metal exterior walls, fabric awnings, split face masonry wall and windows with divided lights complement the building design. The building is designed with both walk-up storefront facing east and multiple roll-up doors for delivery, loading and unloading purposes.

The exterior wall color is gray and the roof is a light tan color. A wainscot constructed of split-face block accents the base of the building. Windows are designed with clear anodized aluminum frames. At the highest point, the building height is 30 feet. The construction of the new warehouse/industrial building will blend in with the surrounding environment. The property site is surrounded by mostly older commercial and industrial buildings and the proposed design, architecture, and mass of the building is consistent with the neighborhood.

Parking Spaces – The proposed project provides onsite parking stalls at the southern and eastern end of the site. The parking areas are visible from the street. Industrial buildings are required to provide 1 space for each 750 square feet of building, or two parking spaces for every three employees in the largest shift, whichever is greater per Zoning Ordinance *Section 17.60.100 (E) Off-Street Parking Requirements*. The proposal involves construction of 10,275-square-foot building and employs three people. The applicant proposes ten (10) on-site parking stalls.

Accessible pathways are proposed in the parking lot to provide safe connections for employees and pedestrians from the public street. The site has been designed to promote safe circulation for pedestrians, vehicles, and trucks. The project meets or exceeds the minimum requirements for double body truck access, loading, and maneuvering.

Landscaping – The applicant provides landscaping along Hansen Drive on the north and western property lines, as well as on the western property lines. The landscaping includes several tree varieties, shrubs, and groundcover. The landscaping is compatible with the surrounding properties and is complimentary to the area. Code requires one parking lot/shading tree for every 4 parking stalls and additional groundcover. Based on City ratio, the project is required to provide 5 large trees. The project provides approximately 8 various sizes of shading trees dispersed throughout the site, including the parking lot. The project meets or exceeds the minimum landscaping requirements.

Overall, staff is pleased with the applicant's proposal for development and we recommend approval with modifications noted below. The applicant should provide additional architectural treatment to create interest. As proposed, the building elevation is a typical industrial building. The applicant should incorporate cornice trims, window openings where appropriate, and/or other methods to reduce the mass appearance of the building. With additional architectural treatment to create visual interest, staff believes the proposed development could provide a more desirable environment for its occupants, visiting public, as well as its neighbors. We feel that this project will be a welcome addition to Lodi. Staff believes that the proposed request for a SPARC review and approval of the site plan, subject to the conditions in the attached SPARC and Supplemental Conditions, meets the requirements of the Zoning Ordinance and is consistent with the General Plan.

### **SPARC COMMON CONDITIONS**

1. Submit landscape and automated sprinkler system plans to the City for its approval (in accordance with the adopted Landscaping-Sprinkler System Guidelines).
2. All exterior lighting shall be shielded or low-level to avoid glare on adjacent properties.
3. The parking and driveway design shall conform to City of Lodi parking lot design standards.
4. Directional signs or arrows shall be provided where necessary.
5. Bicycle parking racks must be provided.
6. The completed project must conform to site plan and building elevations approved by SPARC, including colors and building materials.
7. All on and off-site improvements shall be installed as per Public Works, Utility and Fire Department requirements.

The above requirements constitute a list of conditions most often required by the Site Plan and Architectural Review Committee (SPARC) in its review of plans. Staff's recommendations unique to the proposed office building are listed below in Supplemental Conditions.

### **SUPPLEMENTAL CONDITIONS**

In addition to the Committee's Common Design Requirements, staff recommends approval of the site plan and architectural request to construct a new 10,275-square-foot industrial/warehouse building at 101 Hansen Drive, subject to the following Supplemental Conditions:

#### Community Development Department, Planning Division:

1. The property owner and/or developer and/or successors in interest and management shall, at their sole expense, defend, indemnify and hold harmless the City of Lodi, its agents, officers, directors and employees, from and against all claims, actions, damages, losses, or expenses of every type and description, including but not limited to payment of attorneys' fees and costs, by reason of, or arising out of, this development approval. The obligation to defend, indemnify and hold harmless shall include, but is not limited to, any action to arbitrate, attack, review, set aside, void or annul this development approval on any grounds whatsoever. The City of Lodi shall promptly notify the developer of any such claim, action, or proceeding and shall cooperate fully in the defense.
2. Trash enclosure, all ducts, meters, air conditioning equipment and all other mechanical equipment, whether on the ground, on the structure or elsewhere, shall be screened from public view with materials architecturally compatible with the main structure. Further, all roof mechanical equipment and any satellite dish equipment shall be fully screened from ground-level view within 150 feet of the property. Public view includes the existing views from all public streets and sidewalks. Gas and electric meters, electric transformers, and large water piping systems (backflow prevention devices) shall be completely screened from public view with approved architectural features and/or landscape plantings and/or placed on the interior of the structure.
3. A complete landscape plan shall be submitted with the construction drawings for review and approval by the Community Development Department. The landscape plan shall be prepared by a qualified professional. The landscape plan should identify parking lot trees and shall identify landscape shrubs, and groundcover plants for all areas not developed with hardscape. The landscape plan shall include an irrigation plan (drip irrigation) for all proposed landscape areas). The following changes shall be implemented into the landscape plan along with the building permit application:
  - a. Species for all trees, shrubs and groundcover plants shall be indicated on the plan and shall include quantity and nursery stock size. A key to identifying the location of each species shall be included.
  - b. Parking lot shade trees shall be planted in order to comply with Standard Plan 134. This includes planting trees with varieties, spacing designed to produce 50% shade coverage of the parking lot within 10 years and not obstructing traffic view in and out of the property.
4. The applicant shall submit appropriate plans to the Community Development Department for plan check and building permit. The plans shall include architectural features such as the colors, elevation including all other elements approved by the Site Plan and Architectural Review Committee. Any significant alteration to the site plan as approved by the Site Plan and Architectural Review Committee shall require an action by the Site Plan and Architectural Review Committee. Minor changes, however, may be approved subject to review and approval of the Community Development Director.
5. Specific proposals for signage shall be to the review and approval of the Community Development Director. The Director may approve signage if he finds that the proposal conforms

to the sign regulations, and is in keeping with the architectural style of the building. The Director may refer signage to the SPARC if it seems excessive or out of character with the building.

6. At the owner's expense, the owner of the premises shall paint the curbs of the identified fire lanes red and/or paint the edges of the driveway red to a width of four inches, upon which is closely marked the words "Fire Lane" in white letters four inches in height and have a three-fourths-inch stroke, at intervals of not less than fifty feet.
7. The applicant shall make any necessary site plan and design revisions to the site plan and elevations approved by SPARC in order to comply with all the conditions of approval and applicable Zoning Ordinance provisions. Substantial revisions will require review and approval by the SPARC. Any revisions required by this approval shall be approved by the Planning Division prior to Building and Safety plan check submittal.
8. The property owner and/or developer and/or successors in interest and management shall sign an Affidavit of Acceptance form and submit the document to the Planning Division within 30 days of receipt of the Planning Commission Resolution.
9. Buildings plans shall show short-term bicycle rack to accommodate a minimum of four bicycles.
10. Exterior building mounted light fixtures shall ensure that light does not spill onto adjacent properties. No wallpacks or other floodlights shall be permitted. All building mounted lighting shall have a 90-degree horizontal flat cut-off lens unless the fixture is for decorative purposes.
11. A photometric exterior lighting plan and fixture specification shall be submitted for review and approval of the Community development Director prior to the issuance of any building permit. Said plans and specification shall address the following:
  - a) All project lighting shall be confined to the premises. No spillover beyond the property line is permitted.
  - b) The equivalent of one (1) foot-candle of illumination shall be maintained throughout the parking area.
  - c) All parking light fixtures shall be a maximum of twenty-five 25 feet in height.
  - d) All fixtures shall be consistent throughout the center.
12. The applicant shall submit a landscaping and irrigation plan to the Community Development Department for review and approval. Landscaping materials indicated on the conceptual landscape and irrigation plan may be changed per the review of the Community Development Director or designee but shall not be reduced in amount.
13. The applicant shall select and note on all plans common tree species for the parking lot and perimeter areas from the list of large trees as identified in the Local Government Commission's "Tree Guidelines for the San Joaquin Valley".
14. All landscaped area shall be kept free from weeds and debris, maintained in a healthy growing condition and shall receive regular pruning, fertilizing, mowing, and trimming. Unhealthy, dead, or damaged plant materials shall be removed and replaced promptly.
15. No seasonal, temporary or permanent outdoor storage or display of merchandise shall be permitted.
16. Landscaping materials indicated on the conceptual landscape and irrigation plan may be changed per the review of the Community Development Director but cannot be reduced in amount.
17. Landscape shall not obscure visual identification or building address.
18. The trash enclosure should be wide enough to provide separate containers for recyclable materials and other solid waste. The refuse enclosure shall comply with City standards, including dimensions and building materials, and include an area for recycling containers. Trash

enclosure doors shall be solid steel doors and trash enclosure doors must remain closed when not in use.

19. Final exterior materials and colors shall be consistent with what is shown on the SPARC plans and be approved by the Community Development director prior to issuance of building permit.
20. No signs of any type are approved as part of this action. All signs shall comply with the City of Lodi's Zoning Ordinances. All signage shall be subject to review and approval of the Community Development Director. All signage shall be individual channel letters or the equivalent.
21. All fees and charges due to the City of Lodi shall be paid prior to issuance of the building permit.

The following comment is provided as a matter of information. The item listed is not requirement, but indicates conditions normally imposed by other City departments or agencies which affect and/or need to be coordinated with the design and installation of other City Department's requirements:

1. Applicable agreements and/or deed restrictions for access, use and maintenance of shared, private facilities to Community Development Department approval.

Community Development Department, Building Division:

22. All plan submittals shall be based on the City of Lodi Building Regulations and currently adopted 2010 California Building Code. Please review our policy handouts for specific submittal procedures.
23. Based on the calculated occupant load for each area of the building, the required number of exits, separation of exits, exiting widths and travel distance shall be provided. 2010 CBC, Sections 1004, 1005, 1014, 1015, 1016, 1020, 1021.
24. Provide the number of plumbing fixtures (water closets, urinals, lavatories, drinking fountains, etc.) as required by 2010 CPC, Section 412 & Table 4-1 and Table A.
25. All entrances and exterior ground-floor exit doors shall be connected by an accessible path of travel to the public way. Specify walkways and sidewalks along accessible routes of travel (1) are continuously accessible, (2) have maximum 1/2" changes in elevation, (3) are minimum 48" in width, (4) have a maximum 1/4" per foot side slope, and (5) where necessary to change elevation at a slope exceeding 5% (i.e., 1:20) shall have ramps complying with 2010 CBC, Section 1133B.5. Where a walk crosses or adjoins a vehicular way, and the walking surfaces are not separated by curbs, railings or other elements between the pedestrian areas and vehicular areas shall be defined by a continuous detectable warning which is 36" wide, complying with 2010 CBC, Section 1133B.8.5.
26. An accessible route of travel complying with 2010 CBC, Section 1114B.1.1 shall be provided between buildings and accessible site facilities, accessible elements, and accessible spaces that are on the same site. 2010 CBC, Sections 1127.B.1.
27. The project shall meet the nonresidential mandatory requirements of Chapter 5 of the 2010 California Green Building Standards Code for planning and design, energy efficiency, water efficiency and conservation, material conservation and resource efficiency, and environmental quality. In particular, please note the requirements for bicycle parking and changing rooms per 2010 CGBSC, Section 5.106.4 and parking for low-emitting, fuel-efficient and carpool/van pool vehicles per 2010 CGBSC, Section 5.106.5.2.

Public Works Department:

28. All project design and construction shall be in compliance with the Americans with Disabilities Act (ADA). Project compliance with ADA standards is the developer's responsibility.
29. Installation of the proposed commercial driveways shall conform to Standard Plan 114.
30. Remove and replace the curb return conforming to Standard Plan 132B.

31. Installation of either water or sewer service lines must be installed by City forces.
32. All storm water must be collected on-site and discharged either through-the-curb or connect directly to the storm water mainline.
33. All new development is required to perform best management practices (BMP) as required in the City Stormwater Development Standard Plans (DSP). The project must include measures to mitigate the pollutants of concern listed in the DSP. The SPARC plans must include the mitigation measures prior to Public Works approval.
34. Submit a "mini" Storm Water Pollution Prevention Plan (SWPPP) prior to the approval of the building permit. The SWPPP will only need to be approved by the City and will not need to be submitted to the State Water Quality Control Board.
35. Payment of the following prior to building permit issuance unless noted otherwise:
  - a. Filing and processing fees and charges for services performed by City forces per the Public Works Fee and Service Charge Schedule.
  - b. Wastewater Capacity Impact Fee at the time of occupancy.
  - c. Development Impact Mitigation Fee at the time of occupancy.
  - d. County Facilities Fees
  - e. Regional Transportation Impact Fee (RTIF)
  - f. Storm water compliance inspection fee prior to building permit issuance or commencement of construction operations, whichever occurs first.

Electrical Utility Department:

36. The project proponent/developer shall prepare and submit a legal description for easements to the Electric Utility Department, Electric Engineering Division.
37. The project proponent/developer shall pay the Electric Utility Department for construction charges in accordance with the Electric Utility Department Rules and Regulations.
38. The project proponent/developer shall prepare and submit electric drawings and load calculations for review and approval.
39. Additional comments and conditions will be provided when more complete plans are submitted for building permit application review for the project.

Respectfully Submitted,

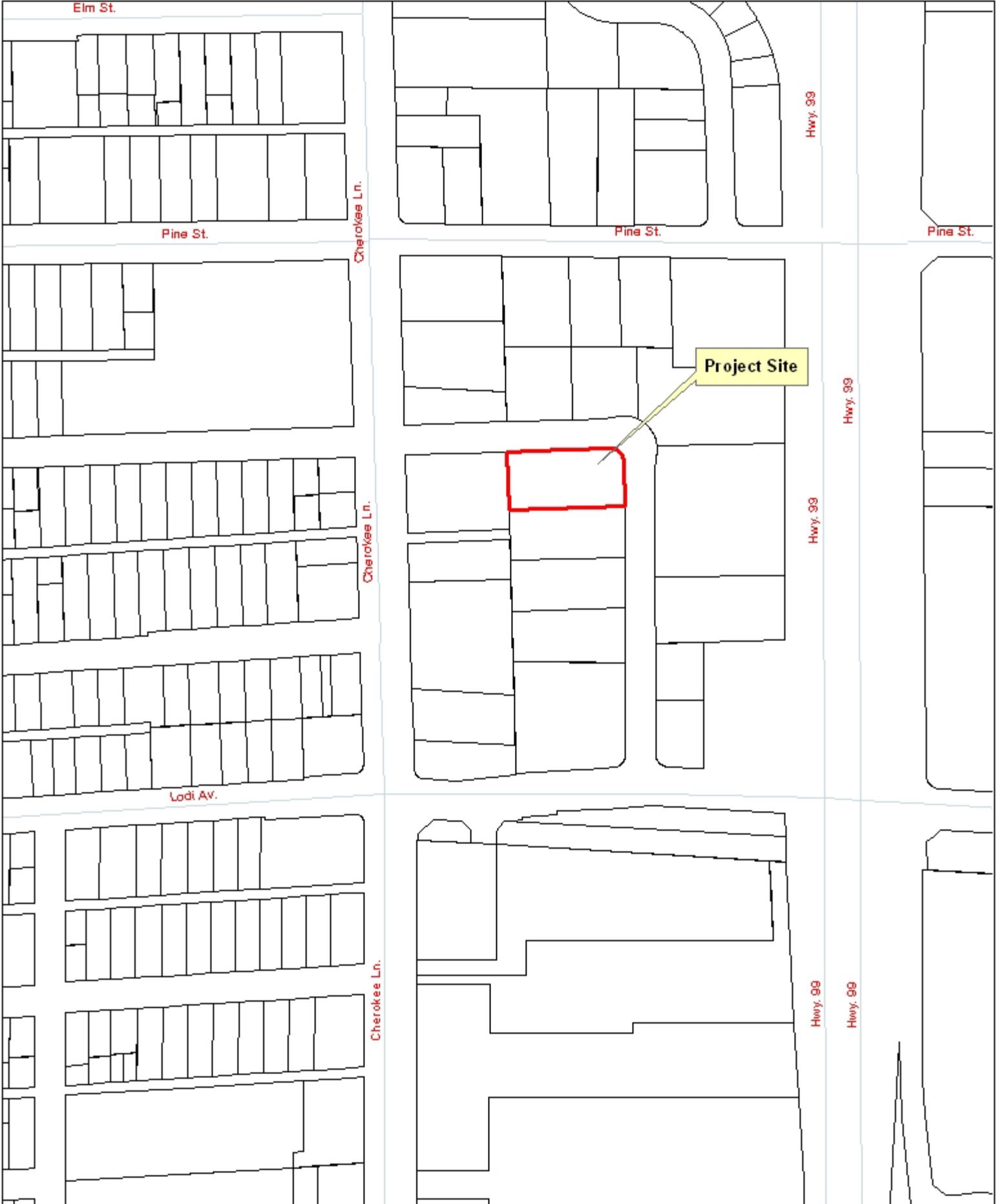
Concur,

Immanuel Bereket  
Associate Planner

Konradt Bartlam  
Community Development Director

**EXHIBITS:**

1. Vicinity Map
2. Aerial Map
3. Site Plan
4. Landscape Plan
5. Color Elevations



**Vicinity Map**  
101 Hansen Drive  
Lodi, CA 95240

 Project Site



Project Site

Lodi Av.

Pine St

Pine St

Cherish Ln

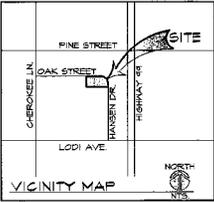
Cherish Ln

Cherish Ln



**Aerial Map**  
101 Hansen Drive  
Lodi, CA 95240

 Project Site

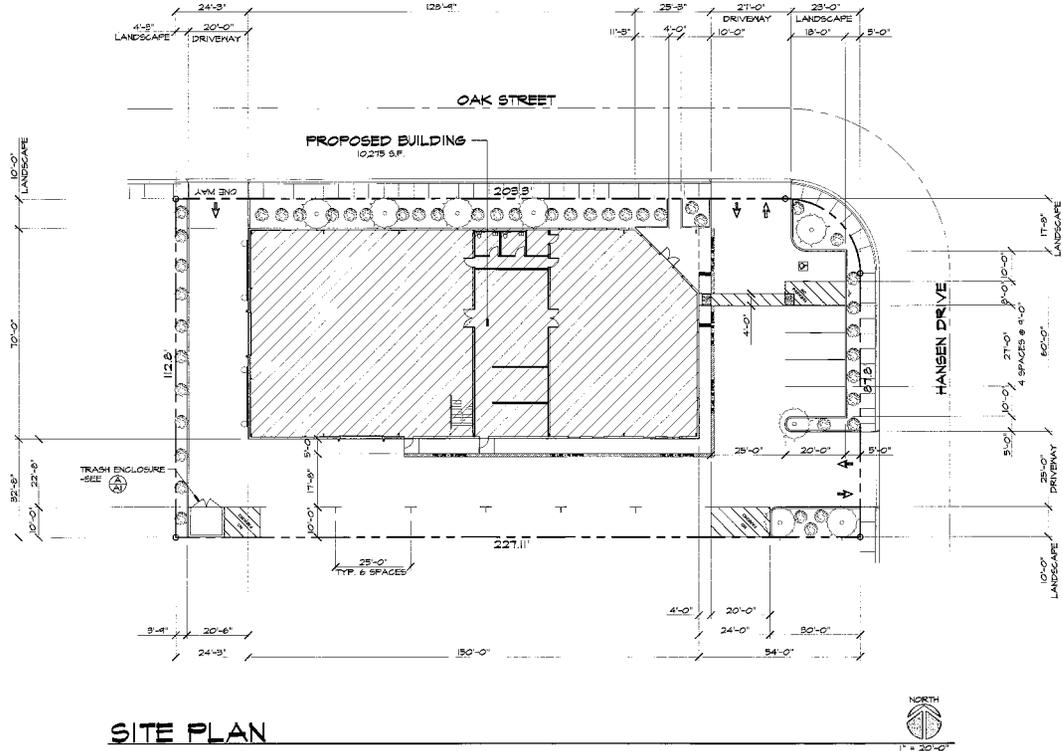


# NEW COMMERCIAL BUILDING FOR: GIUFFRA'S RENTAL'S 101 HANSEN DR. LODI, CA

PROJECT DATA:	
PROJECT OWNER	GIUFFRA'S RENTALS
PROJECT LOCATION	101 HANSEN DR. LODI, CA
APN	-
PROJECT DESCRIPTION	NEW COMMERCIAL BUILDING
OCCUPANCY	B/M/SI
CONSTRUCTION TYPE	VB
STORIES	ONE
OCCUPANT LOAD	- OCCUPANTS
FIRE SPRINKLERS	YES
AREAS:	
PROPOSED BUILDING	10275 S.F.
UTILITIES:	
WATER	PUBLIC FACILITIES
SEWER	PUBLIC FACILITIES
STORM DRAIN	PUBLIC FACILITIES

SHEET INDEX:	
C6	COVER SHEET, SITE PLAN & PROJECT DATA
A1	FLOOR PLAN
A2	EXTERIOR ELEVATIONS

CODE COMPLIANCE	
ALL WORK PERFORMED SHALL BE IN ACCORDANCE TO THE LATEST EDITION OF APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO:	
<ul style="list-style-type: none"> <li>• 2010 CALIFORNIA BUILDING CODE (CBC)</li> <li>• 2010 CALIFORNIA RESIDENTIAL CODE (CBR)</li> <li>• 2010 CALIFORNIA ELECTRICAL CODE (CEC)</li> <li>• 2010 CALIFORNIA MECHANICAL CODE (CMC)</li> <li>• 2010 CALIFORNIA PLUMBING CODE (CPC)</li> <li>• 2010 CALIFORNIA ENERGY CODE</li> <li>• 2010 CALIFORNIA FIRE CODE</li> <li>• 2010 CALIFORNIA HISTORICAL BUILDING CODE</li> <li>• 2010 CALIFORNIA EXISTING BUILDING CODE</li> <li>• 2010 CALIFORNIA REFERENCED STANDARDS CODE</li> </ul>	



**SITE PLAN**

REV	DATE	BY

**MIKE SMITH  
ENGINEERING, INC.**

4 NORTH MAIN STREET  
LODI, CALIFORNIA 95240  
PHONE (209) 334-2332

TITLE:  
COVER SHEET  
SITE PLAN  
PROJECT DATA

PROJECT:  
PROPOSED NEW BUILDING FOR:  
**GIUFFRA RENTAL**  
PROJECT LOCATION:  
HANSEN DR.  
LODI, CA



# SITE PLAN

APRIL, 2011

## APPLICANT:

HERB PRESZLER CONSTRUCTION  
 C/O HERB PRESZLER  
 P.O. BOX 1506  
 WOODBRIDGE, CA 95258  
 (209) 603-5871

## ENGINEER:

DILLON & MURPHY  
 P.O. BOX 2180  
 847 N. CLUFF AVENUE, SUITE A2  
 LODI, CA. 95241  
 (209) 334-6613

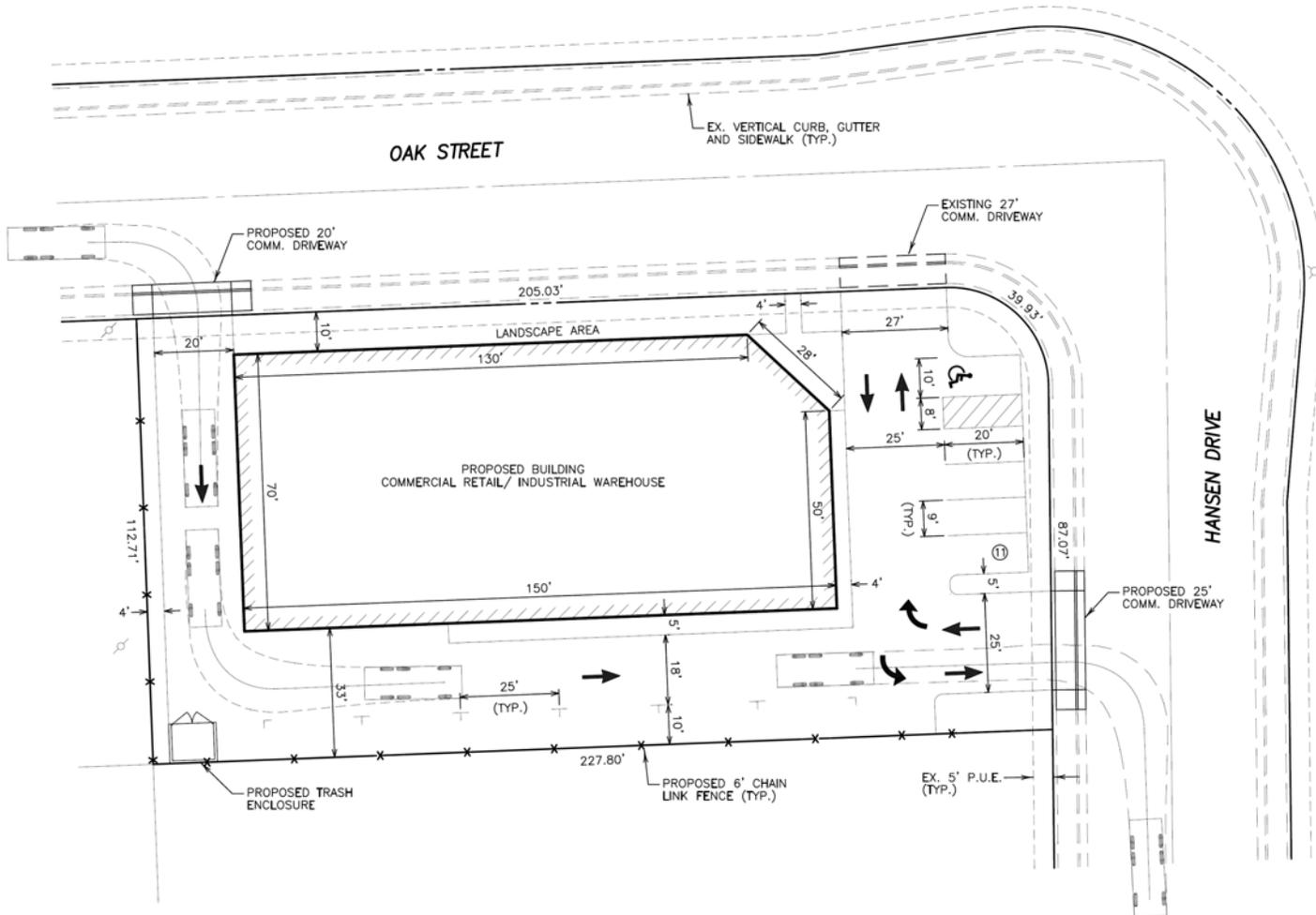
## NOTES:

1. APN: 043-250-11
2. WATER: CITY OF LODI
3. SANITARY SEWER: CITY OF LODI
4. STORM DRAINAGE: CITY OF LODI
5. SITE ADDRESS: 101 HANSEN DRIVE, LODI, CA
6. PARKING STALLS: 10 REGULAR, 1 HANDICAP (VAN)

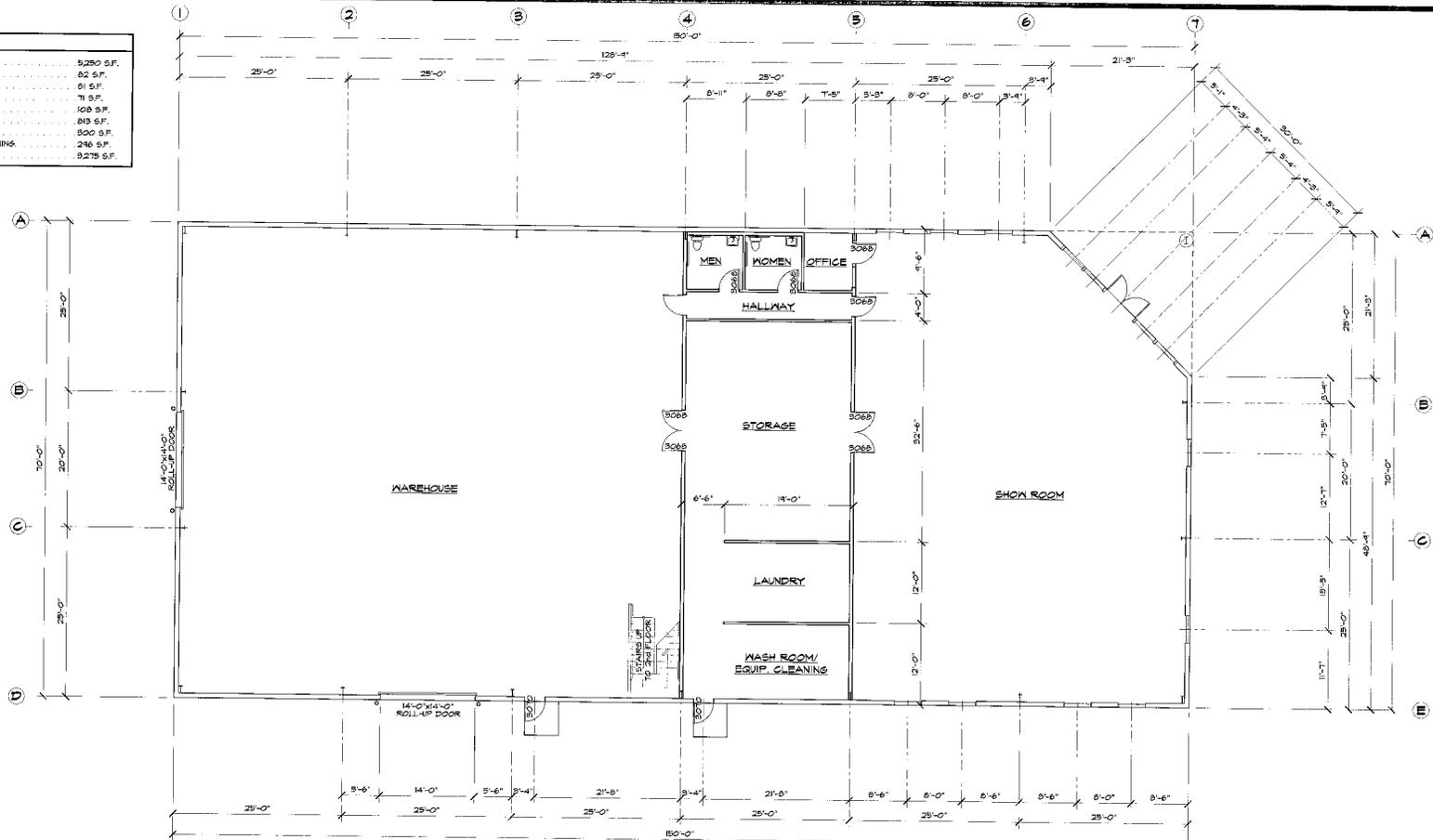
## LEGEND:

COMM.	COMMERCIAL
EX.	EXISTING
(TYP.)	TYPICAL
APPROX.	APPROXIMATE
S.F.	SQUARE FEET
P.U.E.	PUBLIC UTILITY EASEMENT
	EX. FIRE HYDRANT
	EX. POWER POLE
	DIRECTION ARROW (PATH OF TRAVEL)

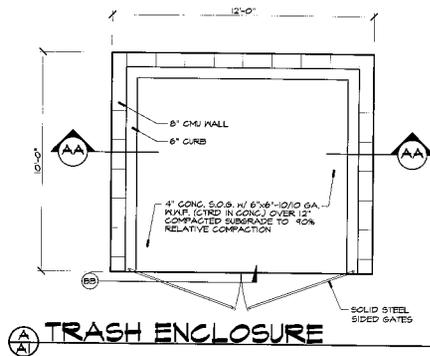
SCALE:  1" = 20'



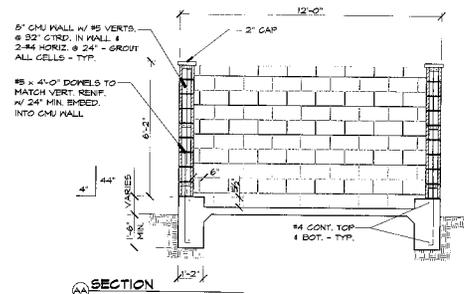
AREAS:	
WAREHOUSE	5,250 S.F.
MEN'S RESTROOM	82 S.F.
WOMEN'S RESTROOM	81 S.F.
OFFICE	78 S.F.
HALLWAY	509 S.F.
STORAGE	813 S.F.
LAUNDRY	500 S.F.
WASH ROOM/EQUIP. CLEANING	246 S.F.
SHOW ROOM	5,278 S.F.



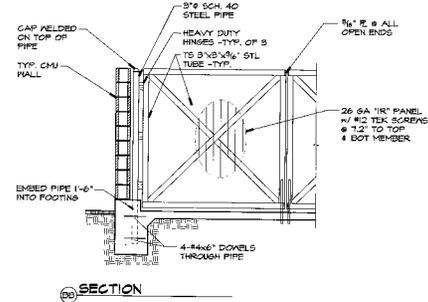
FLOOR PLAN



TRASH ENCLOSURE



SECTION AA



SECTION BB

NO. 00000	BY

**MIKE SMITH ENGINEERING, INC.**  
 4 NORTH MAIN STREET  
 LODI, CALIFORNIA 95240  
 PHONE (209) 334-2532

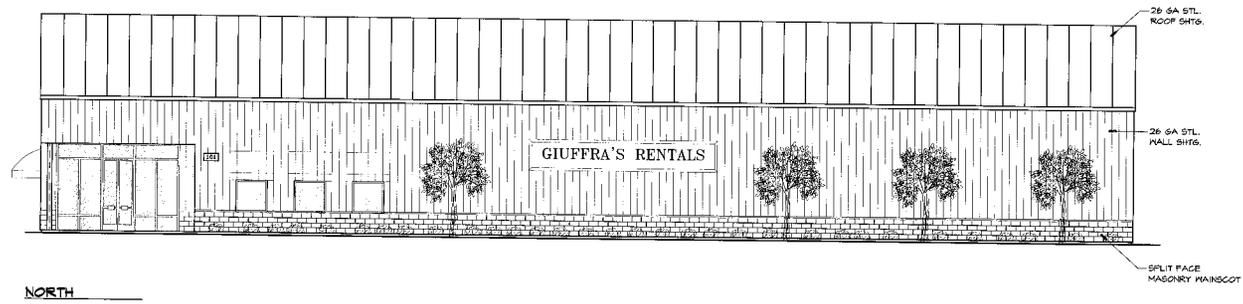
TITLE:  
**FLOOR PLAN**

PROJECT:  
 PROPOSED NEW BUILDING FOR:  
**GIUFFRÀ RENTAL**  
 PROJECT LOCATION:  
 101 HANSEN DR.  
 LODI, CA

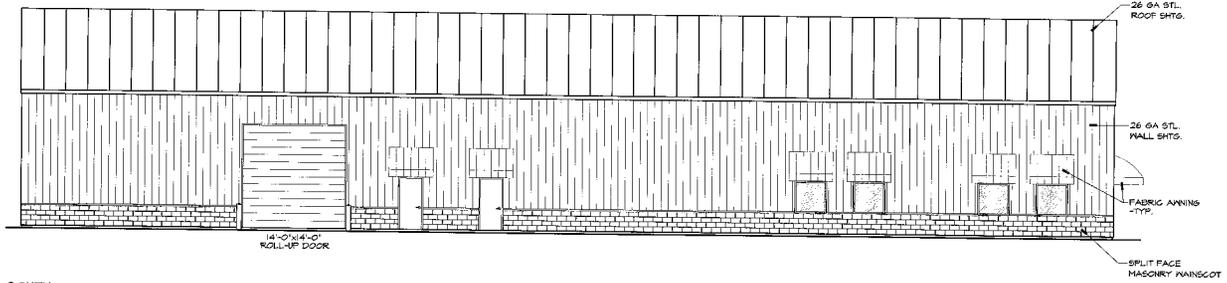
SEAL  
 REGISTERED PROFESSIONAL ENGINEER  
 STATE OF CALIFORNIA  
 NO. C02058  
 EXP. 3/31/12  
 SOULI  
 SAHAB

DRAWN  
 GCS  
 CHECKED  
 MS  
 DATE  
 4/24/11  
 SCALE  
 AS NOTED  
 JAMES  
 10/26  
 SHEET

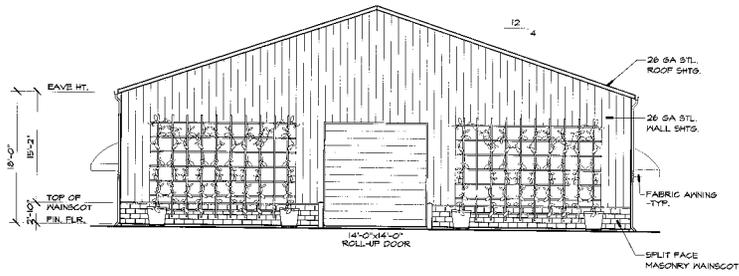
**A1**



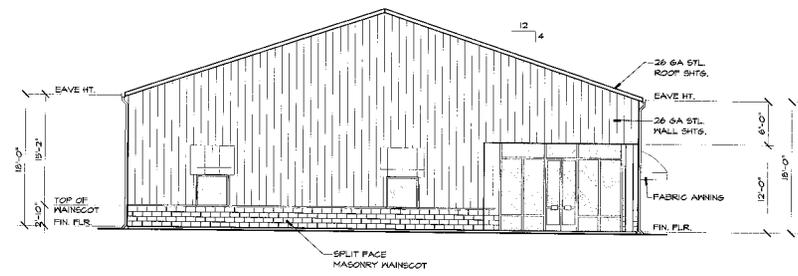
NORTH



SOUTH



WEST



EAST

**EXTERIOR ELEVATIONS**

1/8" = 1'-0"

REVISION	BY

**MIKE SMITH  
ENGINEERING, INC.**  
4 NORTH MAIN STREET  
LODI, CALIFORNIA 95240  
PHONE (209) 834-2832



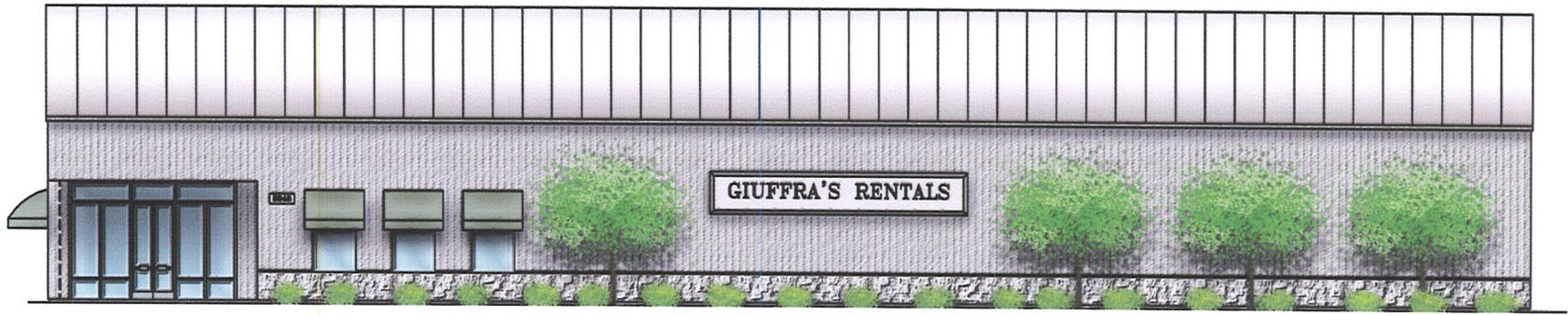
TITLE:  
**EXTERIOR ELEVATIONS**

PROJECT:  
PROPOSED NEW BUILDING FOR:  
**GIUFFRA RENTAL**  
PROJECT LOCATION:  
101 HANSEN DR.  
LODI, CA

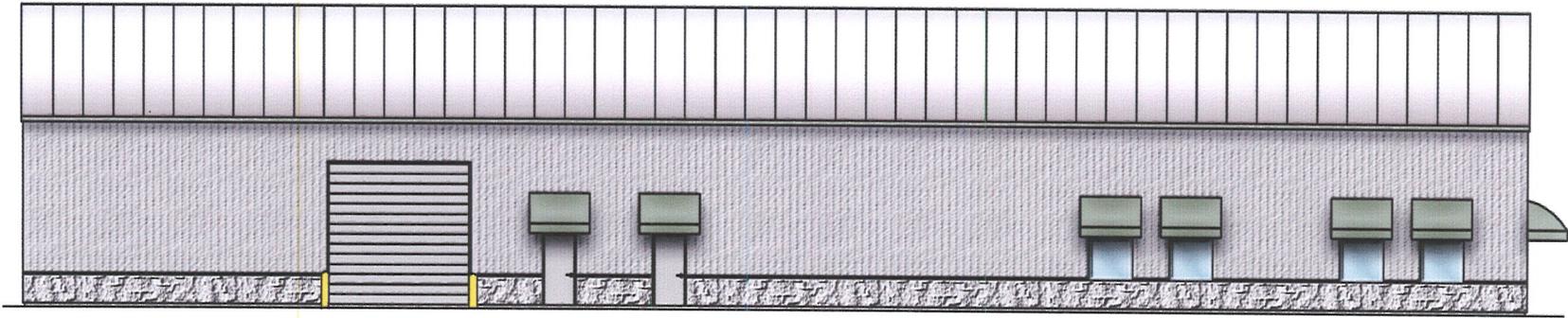


DRAWN	JCS
CHECKED	MS
DATE	4/14/21
SCALE	AS NOTED
PROJECT NO.	10266
SHEET	

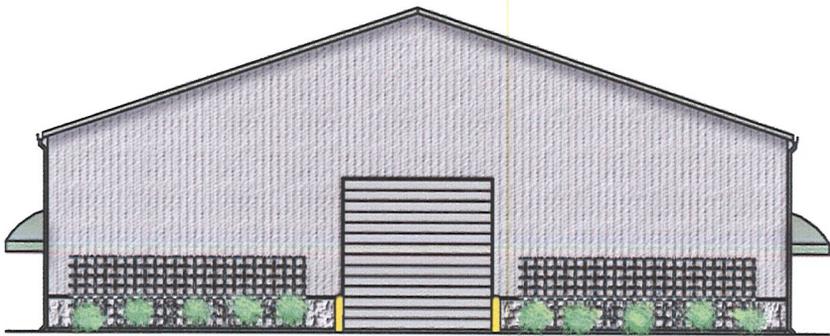
**A2**



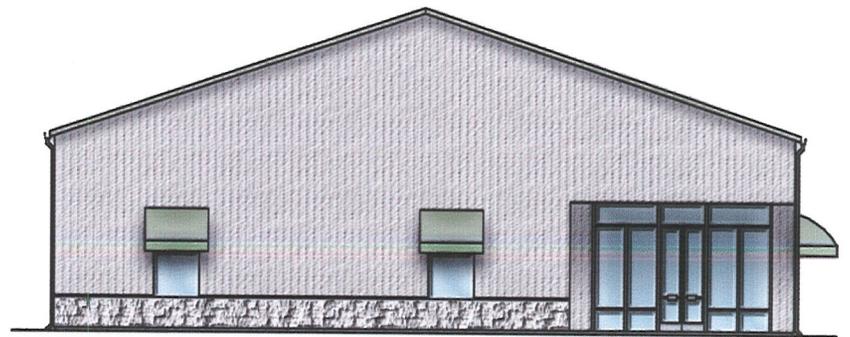
NORTH



SOUTH



WEST



EAST