

<p>CARNEGIE FORUM 305 WEST PINE STREET LODI, CALIFORNIA</p>	<p>AGENDA LODI SITE PLAN & ARCHITECTURAL REVIEW COMMITTEE</p>	<p><u>REGULAR SESSION</u> WEDNESDAY, JANUARY 12, 2011 @ 5:15 PM</p>
---	--	--

For information regarding this agenda please contact:
Kari Chadwick @ (209) 333-6711
Community Development Secretary

***NOTE:** All staff reports or other written documentation relating to each item of business referred to on the agenda are on file in the Office of the Community Development Department, located at 221 W. Pine Street, Lodi, and are available for public inspection. If requested, the agenda shall be made available in appropriate alternative formats to persons with a disability, as required by Section 202 of the Americans with Disabilities Act of 1990 (42 U.S.C. Sec. 12132), and the federal rules and regulations adopted in implementation thereof. To make a request for disability-related modification or accommodation contact the Community Development Department as soon as possible and at least 24 hours prior to the meeting date.*

1. ROLL CALL
2. MINUTES – “July 14, 2010” & “October 27, 2010”
3. REVIEW ITEMS
 - a. Request for Site Plan and Architectural Review Committee approval to construct a sanctuary building for Crossroads-Heartland Church at 2223 W. Kettleman Lane. (Applicant, Delta Buildings, Inc., on behalf of Crossroads-Heartland Church; File # 10-SP-08)
 - b. Request for Site Plan and Architectural Review Committee approval for a major remodel of an existing McDonald’s Restaurant at 841 East Kettleman Lane. (Applicant, CRM Architects ad Planners, Inc., on behalf of McDonald’s USA, LLC; File # 10-SP-09)
4. COMMENTS BY THE PUBLIC
5. ADJOURNMENT

Pursuant to Section 54954.2(a) of the Government Code of the State of California, this agenda was posted at least 72 hours in advance of the scheduled meeting at a public place freely accessible to the public 24 hours a day.

*****NOTICE:** Pursuant to Government Code §54954.3(a), public comments may be directed to the legislative body concerning any item contained on the agenda for this meeting before (in the case of a Closed Session item) or during consideration of the item.*

Right of Appeal:

If you disagree with the decision of the committee, you have a right of appeal. Only persons who participated in the review process by submitting written or oral testimony, or by attending the public meeting, may appeal.

Pursuant to Lodi Municipal Code Section 17.81.070, actions of the Site Plan and Architectural Review Committee may be appealed to the Planning Commission by filing, within ten (10) business days, a written appeal with the Community Development Director and payment of \$300.00 appeal fee. The appeal shall be processed in accordance with Chapter 17.88, Appeals, of the Lodi Municipal Code. Contact: Community Development Director, City Hall 1st Floor, 221 West Pine Street, Lodi, California 95240 – Phone: (209) 333-6711.

**SITE PLAN AND ARCHITECTURAL
REVIEW COMMITTEE SPECIAL MEETING
CARNEGIE FORUM, 305 WEST PINE STREET
WEDNESDAY, JULY 14, 2010
MINUTES**

DRAFT

1. CALL TO ORDER / ROLL CALL

The Regular Site Plan and Architectural Review Committee meeting of July 14, 2010 was called to order by Chair Selleseth at 5:15 p.m.

Present: Committee Members Kiser, Reyes, Slater, Stafford and Chair Selleseth

Absent: Committee Members None

Also Present: Community Development Director Konradt Bartlam and Associate Planner Immanuel Bereket

2. MINUTES

- a) June 23, 2010 minutes approved, motion by Kiser, second by Slater. SPARC member Reyes came in after the minutes were approved.

3. REVIEW ITEMS

- a) Request for Site Plan and Architectural Review Committee approval for façade improvements to an existing building located at 212 West Pine Street. (Applicant: Pine Street Partners LLC; File 10-SP-06).

Associate Planner Bereket presented and briefly described the design features of the proposed exterior façade improvement of an existing building located at 212 West Pine Street. Mr. Bereket stated that the applicant proposes to repaint the existing brick walls, add new metal canopy painted black to match the existing windows and doors, remove existing awning located above windows and doors, and provide new cornice assembly with stucco finish to provide architectural interest.

After staff's presentation, the Committee asked a few questions about the project. SPARC member Stafford asked about parking location for the building. Mr. Bereket stated limited parking is provided behind the building. SPARC member Kiser stated that the project represented a major upgrade.

The applicant, Mr. Thomas Snyder, requested a clarification regarding SPARC Common Conditions. Mr. Bartlam stated building mounted lighting fixtures should be contained within the property, but in this case the spill over is to the sidewalk and not to an adjacent private property. Further, Mr. Bartlam stated because the light fixtures would project into public-right-the-way, an encroachment permit would be required. SPARC member Slater inquired if there are tenants. The applicant replied that his firm would occupy half of the building and the remainder would be leased out but there are no known tenants yet.

There being no more questions, the Chair asked for any motion to approve the project.

MOTION / VOTE:

On motion of Commissioner Kiser, second by SPARC Member Slater, the request for Site Plan and Architectural Review Committee approved the request of Pine Street Partners LLC for the proposed façade improvements at 212 West Pine Street, subject to the Supplemental Conditions.

The vote was as follows:

Ayes: Kiser, Reyes, Slater, Stafford and Chair Selleseth
Noes: None

- b) Request Site Plan and Architectural Review Committee approval of the site plan and architecture of the proposed Surface Water Treatment Facility (Applicant: Public Works Department; File 10-SP-07).

Mr. Bereket presented and briefly described the design features of the proposed Surface Water Treatment Plan Facilities (SWTF). He stated the project would be built at City owned 12.75 acres of vacant land between the Union Pacific Railroad (UPRR) spur line and Lodi Lake near the intersection Turner Road and Lower Sacramento Road. The facility would treat river water for municipal uses. The SWTF is proposed as part of a conjunctive use program that would integrate surface water and groundwater management. He stated the project involves construction of four buildings varying in sizes, a water storage tank, a silo, piping, a fence and gate for security and screening purposes. He stated the buildings are forming a cohesive and uniform appearance.

After staff's presentation, the Committee asked a few questions about the project. SPARC member Stafford asked landscape. Mr. Bereket stated that that any tree removed would be replaced at rate of four (4) replacement trees for every one (1) tree removed. Mr. Stafford further asked about public access to the project. Gary Wiman, Project Manager for the Public Works Department, stated that there would be three entrances and those are main entrance, delivery entrance, and utility entrance. The main and delivery entrances would be motorized. The utility entrance would be manual since it would be used infrequently.

SPARC member Slater asked about the location and material of the proposed fences. Mr. Bartlam stated that the side facing decorative fencing would be constructed where the SWTF is exposed to the park or adjacent streets and side facing the railroad track would be screened by chain-link fencing eight feet in height topped with three strands of barbed wire. Mr. Bartlam further stated that all setback areas adjacent to the park, Turner Road, and Mills Avenue would be landscaped with a combination of trees, shrubs and groundcover.

There being no more questions, the Chair asked for any motion to approve the project.

MOTION / VOTE:

On motion of Commissioner Kiser, second by SPARC Member Slater, the request for Site Plan and Architectural Review Committee approved the request of the Public Works Department for the site design and architecture of the proposed Surface Water Treatment Facility located at 903 West Turner Road subject to the Supplemental Conditions.

The vote was as follows:

Ayes: Kiser, Reyes, Slater, Stafford and Chair Selleseth
Noes: None

4. COMMENTS BY THE PUBLIC

None

5. ADJOURNMENT

There being no further business to come before the Site Plan and Architectural Review Committee, the meeting was adjourned at 5:45p.m.

ATTEST:

Immanuel Bereket
Associate Planner

**SITE PLAN AND ARCHITECTURAL
REVIEW COMMITTEE SPECIAL MEETING
CARNEGIE FORUM, 305 WEST PINE STREET
WEDNESDAY, OCTOBER 27, 2010
MINUTES**

1. CALL TO ORDER / ROLL CALL

The Regular Site Plan and Architectural Review Committee meeting of October 27, 2010 was called to order by Chair Selleseth at 5:15 p.m.

Present: Committee Members Kiser, Reyes, Slater, Stafford and Chair Selleseth

Absent: Committee Members None

Also Present: Community Development Director Konradt Bartlam, Deputy City Attorney Janice Magdich, and Associate Planner Immanuel Bereket

2. MINUTES

None

3. REVIEW ITEMS

- a) Request for Site Plan and Architectural Review Committee approval to allow an outdoor storage cargo container for La Capilla Market located at 725 South Cherokee Lane. (Applicant: Maria Barajas; File 10-SP-01)

Associate Planner Bereket presented and briefly described the project. He stated that the applicant installed a storage container without a permit at their store located at 725 South Cherokee Lane. In response to Code Enforcement actions, the applicant submitted a SPARC application. Mr. Bereket stated that City staff has been working with the applicant and her engineer to find a workable solution. He stated the storage container would be installed on their parking lot behind their existing grocery store. He stated the container is eight (8) feet wide by forty (40) feet deep and is approximately ten and half feet tall. He stated conditions of approval mandate the container to be painted so as to match the body of the existing building, which primarily consists of beige colors.

After staff's presentation, the Committee asked a few questions about the project. SPARC member Kiser asked if any parking spaces would be removed. Mr. Bereket replied that the container would displace a total of five (5) parking spaces, but four spaces would be created in an area currently occupied by an unpermitted storage container. Mr. Kiser asked if the number of parking spaces meet requirements. Mr. Bereket stated with the addition of four new parking stalls, the business would satisfy off-street parking requirements.

SPARC member Slater expressed his concern regarding the design and location of the container. He asked if the adjacent residential neighbors have been notified of this meeting. Director Bartlam stated that the City does not notify neighbors of pending SPARC meetings, but it advertises it in the paper. Mr. Slater expressed his concern that the neighbors have not been notified and that the project should be continued to future date. He requested that staff notify neighbors of future meetings.

SPARC member Stafford asked about the landscape plan. He asked if the strip of land on the alley side was for landscaping. Mr. Bereket stated that area is considered a setback and would be landscaped. Mr. Bereket also stated the landscaped setback area would serve as screen. Mr. Stafford stated his concern regarding the

architectural features of the container and stated that it should be treated. He stated there are ways to make it aesthetically appealing. He also stated his concern that the neighbors have not been notified.

Mike Smith, project engineer, spoke briefly and stated that his client is open to providing architectural treatment to the container. He stated that his client has a long term plan to expand the building and that the container is only a short-term solution. He stated the business needs storage facility but they cannot expand at this time due to financial constraints.

Mr. Slater asked if his client would be willing to continue the item to future dates and bring it back with new architectural designs to make it appealing. Mr. Smith responded that his client would not object. Mr. Stafford asked if the application is continued, would it adversely affect the applicants. Mr. Bartlam stated it would not.

SPARC member Reyes stated that the conditions imposed on the project would mitigate any of the concerns raised by SPARC members and he stated that it should be approved as proposed. SPARC member Kiser stated that although he understood the financial difficulties of the applicant, he stated he is hesitant to approve as submitted because it would set a precedent. He stated that the container needs to be treated so that the neighbors don't register complaints with the City. SPARC member Selleseth asked if a time limit could be imposed on the container. Mr. Bartlam stated that the project, as submitted, constitutes a building and that no time limit could be imposed on the project.

There being no more questions, the Chair asked for any motion to approve the project.

MOTION / VOTE:

On motion of SPARC member Kiser, second by Commissioner Slater, the request of Ms. Maria Barajas to allow an outdoor storage cargo container for La Capilla Market located at 725 South Cherokee Lane was continued to a future date not yet determined with the following condition:

- Staff shall notify the neighbors of future SPARC meetings regarding this project.

The vote was as follows:

Ayes: Kiser, Slater, Stafford and Chair Selleseth

Noes: Reyes

- b) Request Site Plan and Architectural Review Committee approval of the site plan and architecture of the proposed outdoor storage facility at 226 North Main Street. (Applicant: Baumbach and Piazza, Inc., on behalf of Farwest Safety Inc; File 10-SP-05).

Associate Planner Bereket presented and briefly described the project. He stated that the City received a complaint that Farwest Safety Inc. was using an undeveloped vacant site to store their equipment. The complaint was forwarded to the Police Department, Code Enforcement Unit for investigation. In the course of the investigation, it was learned that Farwest Safety Inc., placed asphalt material on the ground in violation of Stormwater Management Program and that the site was being used as an outdoor storage facility without SPARC review and approval. Upon becoming aware of their storage of materials outdoors, staff informed Farwest Safety Inc. that they would need to apply for a SPARC application and develop the parcel in accordance with the City stormwater run-off requirements in order to continue to store equipment at this location. On June 22, 2009, Baumbach and Piazza, Inc. filed a SPARC Application No. 10-SP-05 requesting approval to legalize the outdoor storage of equipment at the project site. He stated the City requires use of vacant

sites for outdoor storage facility require review and approval by the City of Lodi Site Plan and Architecture Review Committee (SPARC) to ensure full compliance with City standards and requirements.

Mr. Bereket stated that the applicant must to replace the existing chain-link fence that is on the property line with a solid 8-ft tall CMU fence. He stated the new fence must maintain a 10-ft setback on Lockeford Street and 5-ft setback along Main Street. Mr. Bereket stated that a condition of approval is included requiring the fence to be relocated 10 feet from the property line along Lockeford and Main Street and be replaced by 8-ft tall CMU wall along Lockeford Street on the south, along Main Street on the east and the first 5-ft along the western property line (abutting the UPRR). Mr. Bereket further stated the remainder of the fence along the western property line may be of chain-link fence. All setback areas must be landscaped.

Mr. Bereket stated that these requirements have been communicated to the applicants and their engineer well in advance of the meeting. Mr. Bereket stated that the outdoor storage area must be fully screened. He stated that the project site is adjacent to the Downtown District and is a major gateway to the downtown from the north.

After staff's presentation, the Committee asked a few questions about the project. SPARC member Kiser asked if the project proponents agree with the conditions of approval. Mr. Bereket stated that the applicants and their engineer were present at the meeting and that he would defer to them to answer. Mr. Pechin, of Baumbach and Piazza, stated that his clients do not agree to the terms of conditions for a number of reasons. He stated that the CMU wall wasn't necessary since the project site was industrial and other adjacent businesses do not even provide screening. He further states that his clients would be willing to install chain-link fence with slats to provide cover. He stated CMU walls would be expensive proposition to his client.

Gary Anderson, project proponent, stated that the business cannot afford CMU wall at this time due to financial constraints. He stated that the project does not generate any revenue to justify expenditure it would require to install CMU wall.

Mr. Pechin provided staff and SPARC members a list of various businesses in Lodi where chain-link fences are used. SPARC member Slater asked staff if any of those businesses could be required to screen their properties better. Director Bartlam replied that if these businesses applied for expansion or any City approval, then the City would require them to do so. However, since the businesses predate the City's requirements, the City could not retroactively impose new requirements.

Mr. Pechin asked SPARC to continue the item so that he could work with staff to find a solution. SPARC member Stafford asked if continuation of the item affects the applicants. Mr. Bereket stated that it wouldn't. Mr. Kiser expressed his concern of outdoor storage facility so close to downtown. Mr. Kiser stated that the City has invested time and financial resources to revitalize the downtown area and unscreened, exposed outdoor storage would defeat these efforts. He stated that he doesn't oppose the project, but it needs to be screened properly. He stated he supports continuation of the item to a future date. Mr. Pechin said he would work with staff if the item is continued.

There being no more questions, the Chair asked for any motion to approve the project.

MOTION / VOTE:

On motion of SPARC member Kiser, second by Slater, the request of Baumbach and Piazza, Inc., on behalf of Farwest Sign Inc., for site design and architecture of a

proposed outdoor storage facility at 226 North Main Street was continued to a future date not yet determined.

The vote was as follows:

Ayes: Kiser, Reyes, Slater, Stafford and Chair Selleseth
Noes: None.

3. COMMENTS BY THE PUBLIC

None

4. ADJOURNMENT

There being no further business to come before the Site Plan and Architectural Review Committee, the meeting was adjourned at 5:45p.m.

ATTEST:

Immanuel Bereket
Associate Planner

Item 3a



MEMORANDUM, City of Lodi, Community Development Department

To: Site Plan and Architectural Review Committee
From: Immanuel Bereket, Associate Planner, Community Development Department
Date: December 8, 2010
Subject: Request for Site Plan and Architectural Review Committee approval to construct a sanctuary building for Crossroads-Heartland Church at 2223 W. Kettleman Lane. (Applicant, Delta Buildings, Inc., on behalf of Crossroads-Heartland Church; File # 10-SP-08).

RECOMMENDATION

Staff recommends approval of the request of Delta Buildings, Inc., on behalf of Crossroads-Heartland Church, to construct a sanctuary building for Crossroads-Heartland Church at 2223 W. Kettleman Lane, subject to the SPARC Common Design Requirements and Supplemental Conditions.

SUMMARY

The applicant, Delta Buildings, Inc., on behalf of Crossroads-Heartland Church, requests for Site Plan and Architecture Review Committee (SPARC) consideration of a proposal to construct a 9,328 square foot sanctuary and an associated office building. The project includes construction of outdoor patio cover area, parking lot improvement, parking lot lighting and installation of landscaping. Existing structures would be incorporated into the project. The project site is located in the Residential, Commercial and Professional (R-C-P) Zoning District at 2223 West Kettleman Lane (Assessor Parcel Number: 027-410-01).

BACKGROUND

The church facility is located at 2223 West Kettleman Lane and consists of an approximately 3,020 square foot existing sanctuary and one-story classroom building with partially paved parking and minimal landscaping. Currently, driveway accesses are provided from Kettleman Lane and Tienda Drive. The northern portion of the site is undeveloped with minimal landscaping while the southern portion contains the existing sanctuary and classrooms.

In April 14, 2010, the City received a complaint that the Crossroads-Heartland Church was using an undeveloped vacant site to park vehicles. The complaint was forwarded to the Police Department Code Enforcement Unit for investigation. In the course of the investigation, it was learned that Crossroads-Heartland Church placed asphalt material on the ground in violation of Stormwater Management Program and that the site was being used as parking lot without SPARC review and approval. Staff informed Crossroads-Heartland Church that they would need to apply for a SPARC application and develop the parcel in accordance with the City stormwater run-off requirements. On September 8, 2010, Delta Buildings, Inc., on behalf of Crossroads-Heartland Church, filed a SPARC Application No. 10-SP-08 requesting approval to legalize the outdoor storage of equipment at the project site.

ANALYSIS

The request is to review and approve site plan and elevations of a church building and associated structured at 2223 West Kettleman Lane. The site measures approximately 2.67 acres in area and is zoned R-C-P, Residential, Commercial and Professional. The proposed development involves a sanctuary building of 9,328 square feet in size and associated office of 1,500 square feet in area. The proposed sanctuary building would accommodate up to 400 fixed seats. The site is accessible from Kettleman Lane (south) and Tienda Drive (north).

Architecture – The proposed church sanctuary building would be a traditional design with tall, vertical windows and peaked roof features that help to break up the mass of the horizontal gabled roof, with the roof peak placed prominently at the center of the building. The proposed sanctuary building incorporates similar colors, material and design as the existing buildings on site and the neighboring properties. In addition, the project proposes a columnar window at the main entrance to provide an architectural interest and break the mass of the front wall.

The proposed sanctuary building is located on the portion of the site that is vacant at the moment and is used as undeveloped parking space. The building location is proposed on the eastern portion of the site and would be a single story building that is near the allowable building height limit when taking into consideration the peak of the roof. The location and height of the proposed structure act to accentuate its size and mass, especially when viewed from the public right of way elevations. The southern elevation would be partially obscured by existing structures. The eastern elevation would be briefly viewed by travelers going westbound on Kettleman Lane. It is anticipated that existing senior housing to the east would also have a prominent view of the proposed sanctuary building. This elevation is architecturally treated with accent trim, windows and recessed walls. The western elevation faces the parking lot and serves as the main entrance to the sanctuary. The proposed building addition would incorporate vertical elements, including windows and peaked roof features that help to break up the long horizontal building. Staff recommends the Site Plan and Architecture Committee provide input to the applicant on the various elevations, specifically the northern elevation, especially since it would be prominently visible from Tienda Drive.

Parking Spaces – The proposed project would expand the existing parking lot and add a new parking lot at the northern end of the project site. The plans indicate that the new parking lot would be constructed in an area where partially paved and mostly unpaved area. Lastly, the location of the parking lot will be highly visible from Tienda Drive. The proposed parking meets minimum City dimensions.

Church sanctuaries are required to provide 1 space for each 4 permanently located seats per Zoning Ordinance *Section 17.60.100 (B)(3) Off-Street Parking Requirements*. The proposal will accommodate 400 seats ($400/4 = 100$ spaces). The Code also requires 1 space for each 250 of gross square feet of office space. The proposal includes 1,500 sq. ft of office space ($1,500/250 = 6$ spaces). City Code requires 106 parking spaces and the proposed development provides 119 total parking spaces.

Required:
106 parking spaces

Proposed:
119 parking spaces

The proposed number of parking spaces exceeds the minimum number of parking spaces required for a development of this size and specification. Based upon the information provided on the plans and the conditions imposed upon the project, the development would be in conformance with the City Zoning Ordinance.

Site Lighting – The proposed plans illustrate 4 parking lots poles. The plans do not show height of the poles and the type of bulb used. The proposed development would be required to submit site photometric plan during the building permit phase and must meet City Code requirements. Specifically, no bleed-over, wallpacks or other floodlights onto the neighboring properties would be permitted. Further, all building mounted lighting must include a 90-degree horizontal flat cut-off lens unless the fixture is for decorative purposes. The height of the poles cannot exceed 25-ft in height.. In addition, the main pedestrian walkway from Kettleman Lane should be illuminated with pedestrian scale lighting.

Landscaping – The applicant is proposing extensive landscape improvements for the site. The new landscaping would include approximately 56 new trees, including ornamental pear, oak, olive, maple, alder and palms. The proposed landscaping would include various species of shrubs and groundcover closest to the building designed to complement the building architecture rather than hiding it. A walkway and landscape buffer would be provided between the building and parking lots. While the proposal does not attempt to substantially augment the existing natural appearance of much of the site, staff recommends that additional landscaping be provided at the eastern boundary of the project site to better screen the project from adjacent residences.

Code requires one parking lot/shading tree for every 4 parking stalls and additional groundcover. Based on City ratio, the project is required to provide 30 large trees. The project provides approximately 56 various sizes of shading trees dispersed throughout the site, including the parking lot. The total landscape area comprises 72 percent of the site area, which exceeds the minimum required by the Code. The landscape material conditioned to relate to adjacent land uses and must utilize drought resistant species identified in the Local Government Commission's "Tree Guidelines for the San Joaquin Valley". Finally, it appears that the site would include more than 2,500 square feet of new or refurbished landscape area. Thus, the project will be required to comply with the Model Water Efficient Landscape Ordinance recently adopted by the State of California. Compliance with the ordinance could result in significant landscape modifications; thus, staff recommends that compliance with the ordinance be demonstrated prior to issuance of a building permit.

Overall, staff is pleased with the applicant's proposal for development and we recommend approval with modifications noted below. We feel that this project will be a welcome addition to Lodi. Staff believes that the proposed request for a SPARC review and approval of the site plan, subject to the conditions in the attached SPARC and Supplemental Conditions, meets the requirements of the Zoning Ordinance and is consistent with the General Plan.

SPARC COMMON CONDITIONS

1. Submit landscape and automated sprinkler system plans to the City for its approval (in accordance with the adopted Landscaping-Sprinkler System Guidelines).
2. All exterior lightening shall be shielded or low-level to avoid glare on adjacent properties.
3. The parking and driveway design shall conform to City of Lodi parking lot design standards.
4. Directional signs or arrows shall be provided where necessary.
5. Bicycle parking racks must be provided.
6. The completed project must conform to site plan and building elevations approved by SPARC, including colors and building materials.
7. All on and off-site improvements shall be installed as per Public Works, Utility and Fire Department requirements.

The above requirements constitute a list of conditions most often required by the Site Plan and Architectural Review Committee (SPARC) in its review of plans. Staff's recommendations unique to the proposed office building are listed below in Supplemental Conditions.

SUPPLEMENTAL CONDITIONS

In addition to the Committee's Common Design Requirements, staff recommends approval of the site plan and architectural request of Delta Buildings, Inc., on behalf of Crossroads-Heartland Church, for a church sanctuary and associated office building at 2223 W. Kettleman Lane, subject to the following conditions, including the SPARC Checklist:

Community Development Department, Planning Division:

1. The developer will defend, indemnify, and hold the City, its agents, officers, and employees harmless of any claim, action, or proceeding to attack, set aside, void, or annul this permit, so long as the City promptly notifies the developer of any claim, action, or proceedings, and the City cooperates fully in defense of the action or proceedings.
2. The applicant shall submit appropriate plans to the Community Development Department for plan check and building permit. The plans shall include architectural features such as the colors, elevation including all other elements approved by the Site Plan and Architectural Committee. Any significant alteration to the site plan as approved by the Site Plan and Architectural Committee shall require an action by the Site Plan and Architectural Committee. Minor changes, however, may be approved subject to review and approval of the Community Development Director.
3. At the owner's expense, the owner of the premises shall paint the curbs of the identified fire lanes red and/or paint the edges of the driveway red to a width of four inches, upon which is closely marked the words "Fire Lane" in white letters four inches in height and have a three-fourths-inch stroke, at intervals of not less than fifty feet.
4. Exterior building mounted light fixtures shall ensure that light does not spill onto adjacent properties. No wallpacks or other floodlights shall be permitted. All building mounted lighting shall have a 90-degree horizontal flat cut-off lens unless the fixture is for decorative purposes.
5. A photometric exterior lighting plan and fixture specification shall be submitted for review and approval of the Community development Director prior to the issuance of any building permit. Said plans and specification shall address the following:
 - a) All project lighting shall be confined to the premises. No spillover beyond the property line is permitted.
 - b) The equivalent of one (1) foot-candle of illumination shall be maintained throughout the parking area.
 - c) All parking light fixtures shall be a maximum of twenty-five 25 feet in height.
 - d) All fixtures shall be consistent throughout the center.
6. The applicant shall submit a landscaping and irrigation plan to the Community Development Department for review and approval. Landscaping materials indicated on the conceptual landscape and irrigation plan may be changed per the review of the Community Development Director or designee but shall not be reduced in amount.
7. The applicant shall select and note on all plans common tree species for the parking lot and perimeter areas from the list of large trees as identified in the Local Government Commission's "Tree Guidelines for the San Joaquin Valley".
8. Project must receive and comply with all terms of the Cal Trans encroachment Permit necessary. Any conditions imposed by Cal Trans for the encroachment permit that result in site plan modifications shall be reviewed by City staff for consistency with Project approvals.
9. All landscaped area shall be kept free from weeds and debris, maintained in a healthy growing condition and shall receive regular pruning, fertilizing, mowing, and trimming. Unhealthy, dead, or damaged plant materials shall be removed and replaced promptly.
10. No seasonal, temporary or permanent outdoor storage or display of merchandise shall be permitted.
11. Landscaping materials indicated on the conceptual landscape and irrigation plan may be changed per the review of the Community Development Director but cannot be reduced in amount.

12. Landscape shall not obscure visual identification or building address.
13. The trash enclosure should be wide enough to provide separate containers for recyclable materials and other solid waste. The refuse enclosure shall comply with City standards, including dimensions and building materials, and include an area for recycling containers. Trash enclosure doors shall be solid steel doors and trash enclosure doors must remain closed when not in use.
14. Final exterior materials and colors shall be consistent with what is shown on the SPARC plans and be approved by the Community Development director prior to issuance of building permit.
15. All roof mechanical equipment and any satellite dish equipment shall be fully screened from ground-level view within 150 feet of the property.
16. All signs shall comply with the City of Lodi's Zoning Ordinances. All signage shall be subject to review and approval of the Community Development Director. All signage shall be individual channel letters or the equivalent.
17. All fees and charges due to the City of Lodi shall be paid prior to issuance of the building permit.

The following comment is provided as a matter of information. The item listed is not requirement, but indicates conditions normally imposed by other City departments or agencies which affect and/or need to be coordinated with the design and installation of other City Department's requirements:

1. Applicable agreements and/or deed restrictions for access, use and maintenance of shared, private facilities to Community Development Department approval.

Community Development Department, Building Division:

18. All plan submittals shall be based on the City of Lodi Building Regulations and currently adopted 2007 California Building code. Please review our policy handouts for specific submittal procedures.
19. Building height and area shall conform to the limits of 2007 CBC, Table 503, based on Construction Type for the A-3 Occupancy, and as modified by Sections 504 through 507.
20. Fire rated construction of walls and protection of openings shall be provided where required due to construction type, occupancy and location on property or proximity to other structures. 2007 CBC, Sections 702, 704.3, 704.8 and Tables 601, 602, 704.8.
21. All entrances and exterior ground floor exit doors to buildings and facilities shall be made accessible to persons with disabilities. Such entrances shall be connected by an accessible route (complying with Section CBC 1114B1.2) to public transportation stops, to accessible parking and passenger loading zones and to public streets or sidewalks.
22. An accessible route of travel complying with 2007 CBC, Section 1114B.1.1 shall be provided between buildings and accessible site facilities, accessible elements, and accessible spaces that are on the same site. 2007 CBC, Sections 1127.B.1
23. Walkways and sidewalks along the accessible routes of travel (1) shall be continuously accessible, (2) have maximum 1/2" changes in elevation, (3) are minimum 48" in width, (4) have a maximum 1/4" per foot side slope, and (5) where necessary to change elevation at a slope exceeding 5% (i.e., 1:20) shall have ramps complying with 2007 CBC, Section 1133B.5. Where a walk crosses or adjoins a vehicular way, and the walking surfaces are not separated by curbs, railings or other elements between the pedestrian areas and vehicular areas shall be defined by a continuous detectable warning which is 36" wide, complying with 2007 CBC, Section 1133B.8.5.
24. The stage shall conform to the requirements of 2007 CBC, Sections 410 and 1015.6 for construction and exiting.

25. The location and minimum number of required exits shall conform to the requirements of 2007 CBC, Sections 1015, 1016, and 1019.
26. The minimum number of plumbing fixtures (water closets, urinals, lavatories, etc.) shall be provided as specified by the 2007 CPC, Section 412, Tables A & 4-1.
27. It appears that the occupant load for the structure may exceed 50. Each door in a means of egress from an A occupancy having an occupant load of 50 or more shall not be provided with a latch or lock unless it is panic hardware or fire exit hardware per 2007 CBC, Section 1008.1.9.

Public Works Department:

28. All project design and construction shall be in compliance with the Americans with Disabilities Act (ADA). Project compliance with ADA standards is the developer's responsibility.
29. The following need to be shown and dimensioned on the site plan:
 - a. All existing public utility easements. Our records indicate that there is a 5-foot public utility easement (PUE) along the south property line, a 10-foot PUE along the west property line, a 26-foot PUE along the north property line and a 25-foot PUE along the east property line.
 - b. All existing and proposed utilities, both public and private. Our records indicate the following:
 - i. There is an existing 8-inch public wastewater pipeline and a 10-inch public water pipeline along the east side of the subject parcel.
30. The parking layout shall conform to Standard Plan 134. End stalls shall have a minimum width of 10-feet and parking stall widths must be a minimum of 9-feet wide.
31. Payment of the following prior to building permit issuance unless noted otherwise:
 - a. Filing and processing fees and charges for services performed by City forces per the Public Works Fee and Service Charge Schedule.
 - b. Stormwater Compliance Inspection Fee prior to building permit issuance or commencement of construction operations, whichever occurs first.
32. Payment of the following prior to temporary occupancy or occupancy of the building unless noted otherwise:
 - a. Development Impact Mitigation Fees
 - b. Wastewater Capacity Impact Mitigation Fee.
 - c. County Facilities Fees.
 - d. Regional Transportation Impact Fee (RTIF).
 - e. Water Treatment Facility Impact Mitigation Fee.
33. An encroachment permit issued by the Public Works Department is required for the following work:
 - a. All work in the Tienda Drive right-of-way including, but not limited to, driveways and connection to the public water, wastewater, and storm drain mains.

Additional comments and conditions will be provided in conjunction with the approval of a building permit for this project.

Electrical Utility Department:

34. No building shall be located in the existing and required PUE's. The applicant shall not locate the building in the required "overhead only" PUE above 23' of grade.

35. Provision of all necessary Public Utility Easements, payment of Electric Utility Department charges, and installation of necessary equipment/infrastructure to provide electrical service to the properties in accordance with the Electric Department's rules and regulations.
36. Additional comments and conditions will be provided when more complete plans are submitted for building permit application review for the project.

Prior to reliance on this conditional approval, the applicant shall sign an affidavit, stating that the applicant has read, understands and will comply with the above conditions. **This affidavit shall be returned to the City of Lodi Planning Department.**

Respectfully Submitted,

Concur,

Immanuel Bereket
Associate Planner

Konradt Bartlam
Community Development Director

EXHIBITS:

1. Vicinity Map
2. Aerial Map
3. Site Plan
4. Landscape Plan
5. Color Elevations



Project Site

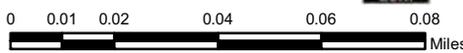
Kettleman Ln.

Kettleman Ln. / Hwy. 12

Kettleman Ln.

Sylvan Wy.

Chaparral Ct.



Aerial Map
Crossroads-Heartland Church
2223 W. Kettleman Lane
Lodi, CA 95242

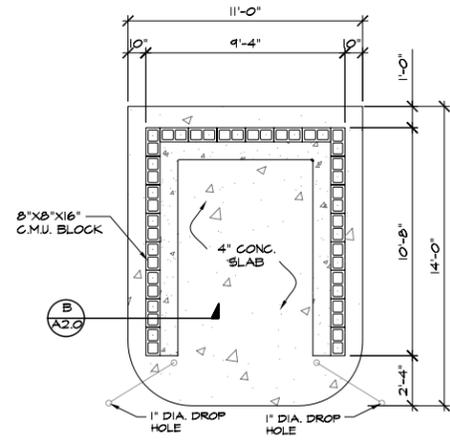
Legend

 Project Site

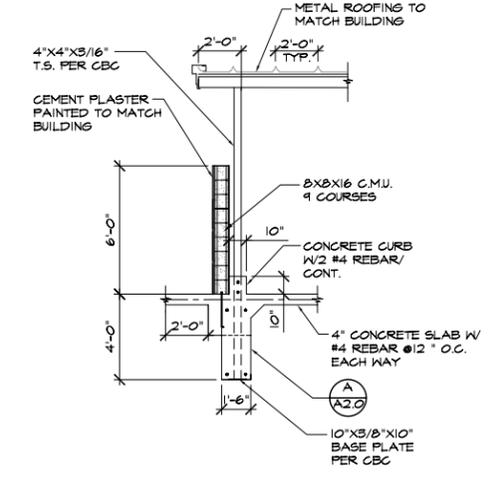
STRUCTURES-PARKING										
STRUCTURE NUMBER	PROPOSED USE	SQ. FT.	FIXED SEATS	HIGHEST FLOOR	PARKING RATIO	EMPLOYEES (EST.)	MIN. PARKING	ACCESSIBLE PARKING	STANDARD PARKING	PROPOSED PARKING
(A)	SANCTUARY	9,328	400	I	1:4 SEATS		100			
(B)	OFFICE	1,500	0	I	1:250 SQ. FT.		6			
TOTAL		10,828	400				(106)	6	III	(119)

EXISTING STRUCTURES		
STRUCTURE NUMBER	USE	SQ. FT.
(C)	SANCTUARY	3,020
(D)	LOBBY	571
(E)	CLASSROOMS	4,180

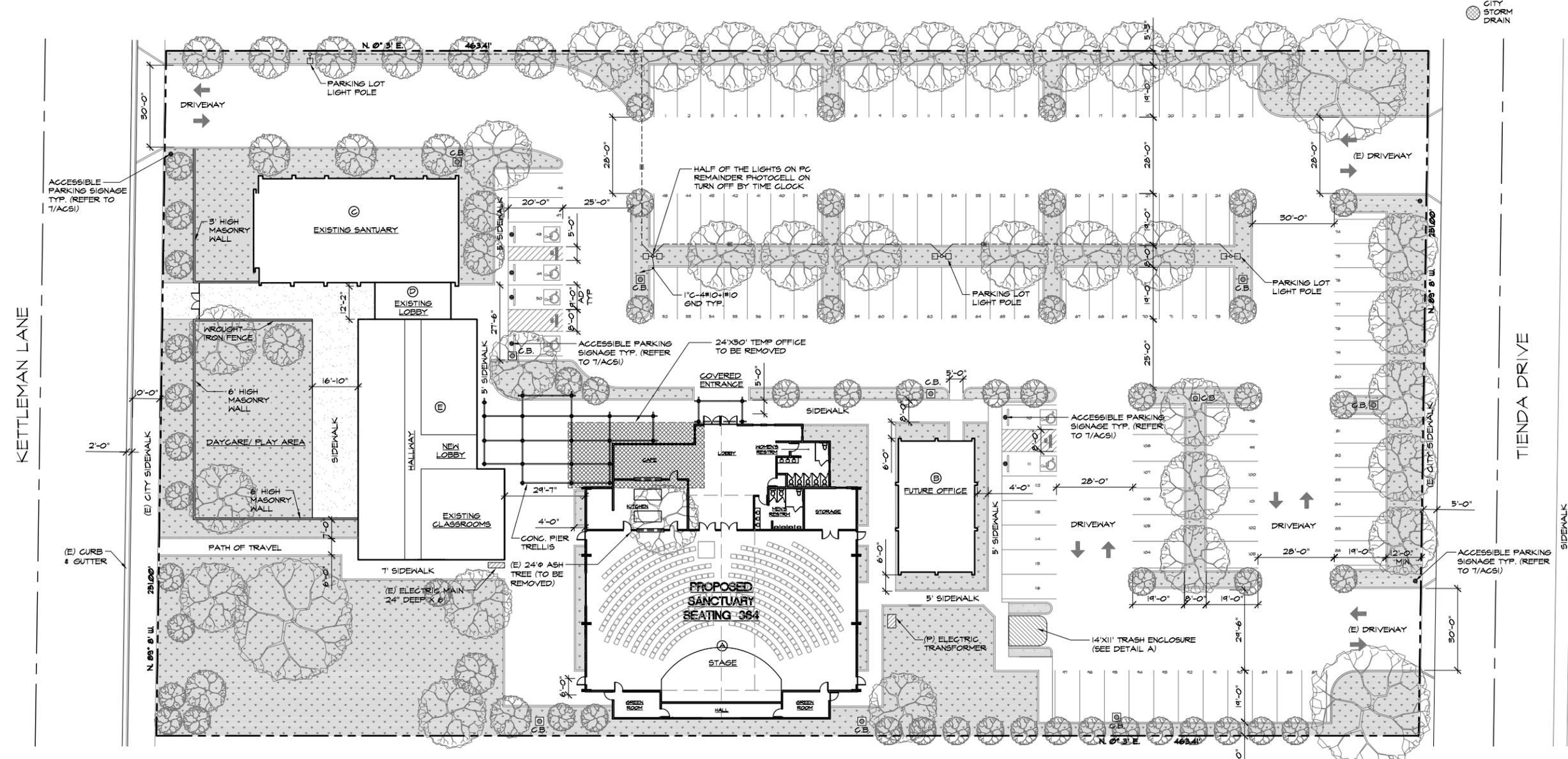
PROPOSED DEVELOPED AREAS	
LOT SIZE	116,304 SQ. FT.
BUILDINGS	18,405 SQ. FT.
LANDSCAPING	30,820 SQ. FT.
PARKING & DRIVEWAYS	54,349 SQ. FT.
SIDEWALKS & COURTYARDS	7,729 SQ. FT.



A TRASH ENCLOSURE
SCALE: 1/4" = 1'-0"



B FOOTING DETAIL
SCALE: 1/4" = 1'-0"



SITE PLAN
SCALE: 1" = 20'

REVISIONS BY

DELTA BUILDINGS, INC.
151 W. Tule Rd.
Acampo, California 95220
Ph: 209-334-0513
Fax: 209-334-9916

SITE PLAN
SANCTUARY ADDITION

CROSSROADS-HEARTLAND
2223 WEST KETTLEMAN LANE
LODI, CA 95242

Stamp:

 These plans are the property of Delta Buildings Inc. They are loaned without consideration other than in agreement that they are not copied or reproduced without the consent of Delta Buildings Inc. The acceptance of these drawings will be construed as acceptance of the foregoing.

Date: 08/26/10
 Scale: AS NOTED
 Drawn: B.T.V.
 Job: 00---
 Sheet: **A2.0**

SYMBOL	BOTANICAL/Common NAME	QTY. ● FULL SHADE/SQ. FT.	QTY. ● ¾ SHADE/SQ. FT.	QTY. ● ½ SHADE/SQ. FT.	QTY. ● ¼ SHADE/SQ. FT.	TOTAL (SQ. FT.)
PT	PYRUS kawakami/ ORNAMENTAL PEAR		10 ● 500			500
QT	QUERCUS Rubra/ OAK	5 ● 1200				600
OLT	Olea, Europea, Olive OLT/F (FULL GROWN MISSION)	47 ● 300 (2) FULL OLT/F ● 300				14,100 600
MT	ACER Macrophyllum/ MAPLE			3 ● 1100		3,300
AT	ALNUS Rubra/ ALDER			10 ● 500		5,000
FT	ABIES Magnifica/ FIR	2 ● 300				600
PLMT	Washington, Palms	2 ● 300				600
HT	CELTIS Occidentalis/ HACKBERRY			13 ● 1200		15,600
LT	LARGER STEREOEMIA, Indica, (GRAPE MYRTLE)			8 ● 100		800
TOTAL TREE SHADE						41,900
SURFACE AREA:		PARKING LOT		TOTAL SURFACED AREA=		59,344
SHADE AREA REQUIRED=						29,500
TOTAL SHADE PROVIDED=						41,900
PERCENT SHADE=						70%

KEY	BOTANIC NAME/ COMMON NAME	SIZE	QTY.
A1	AGAPANTHUS O. "RANCHO WHITE"/WHITE LILY OF THE NILE	1 GAL.	100
	ESC FRA ESCALLONIA "FRADESII"	5 GAL.	20
A2	AGAPANTHUS O. "RANCHO WHITE"/WHITE LILY OF THE NILE	1 GAL.	24
	ESC FRA ESCALLONIA "FRADESII"	5 GAL.	4
	ROSA X. "FLOWER CARPET RED"/LANDSCAPE ROSE	1 GAL.	6
B1	STRAWBERRY	FLATS	12" O.C./ 200SQ.FT. TRIA
	HEMEROCALLIS (MIXED EVERGREEN HYBRIDS)/DAYLILY	BARE ROOT	24
	ROSA X. "FLOWER CARPET RED"/LANDSCAPE ROSE	1 GAL.	4
	AGAPANTHUS O. "RANCHO WHITE"/WHITE LILY OF THE NILE	1 GAL.	22
B2	STRAWBERRY	FLATS	12" O.C./ 200SQ.FT. TRIA
	HEMEROCALLIS (MIXED EVERGREEN HYBRIDS)/DAYLILY	BARE ROOT	24
	ROSA X. "FLOWER CARPET RED"/LANDSCAPE ROSE	1 GAL.	4
	AGAPANTHUS O. "RANCHO WHITE"/WHITE LILY OF THE NILE	1 GAL.	22
C1	AGAPANTHUS O. "RANCHO WHITE"/WHITE LILY OF THE NILE	1 GAL.	12
	ESC FRA ESCALLONIA "FRADESII"	5 GAL.	2
C2	AGAPANTHUS O. "RANCHO WHITE"/WHITE LILY OF THE NILE	1 GAL.	24
	ESC FRA ESCALLONIA "FRADESII"	5 GAL.	4
	ROSA X. "FLOWER CARPET RED"/LANDSCAPE ROSE	1 GAL.	6

	LAWN AREA
	SHRUBS
	EXISTING FLATWORK
	PROPOSED FLATWORK
	PROPOSED TREE
	EXISTING TREE
	TRASH ENCLOSURE
	TREE TO BE REMOVED
	PROPOSED PLANTER

REVISIONS BY

DELTA BUILDINGS, INC.
151 W. Tubb Rd
Acampo, California 95220
Ph 209-334-0513
Fax 209-334-9916

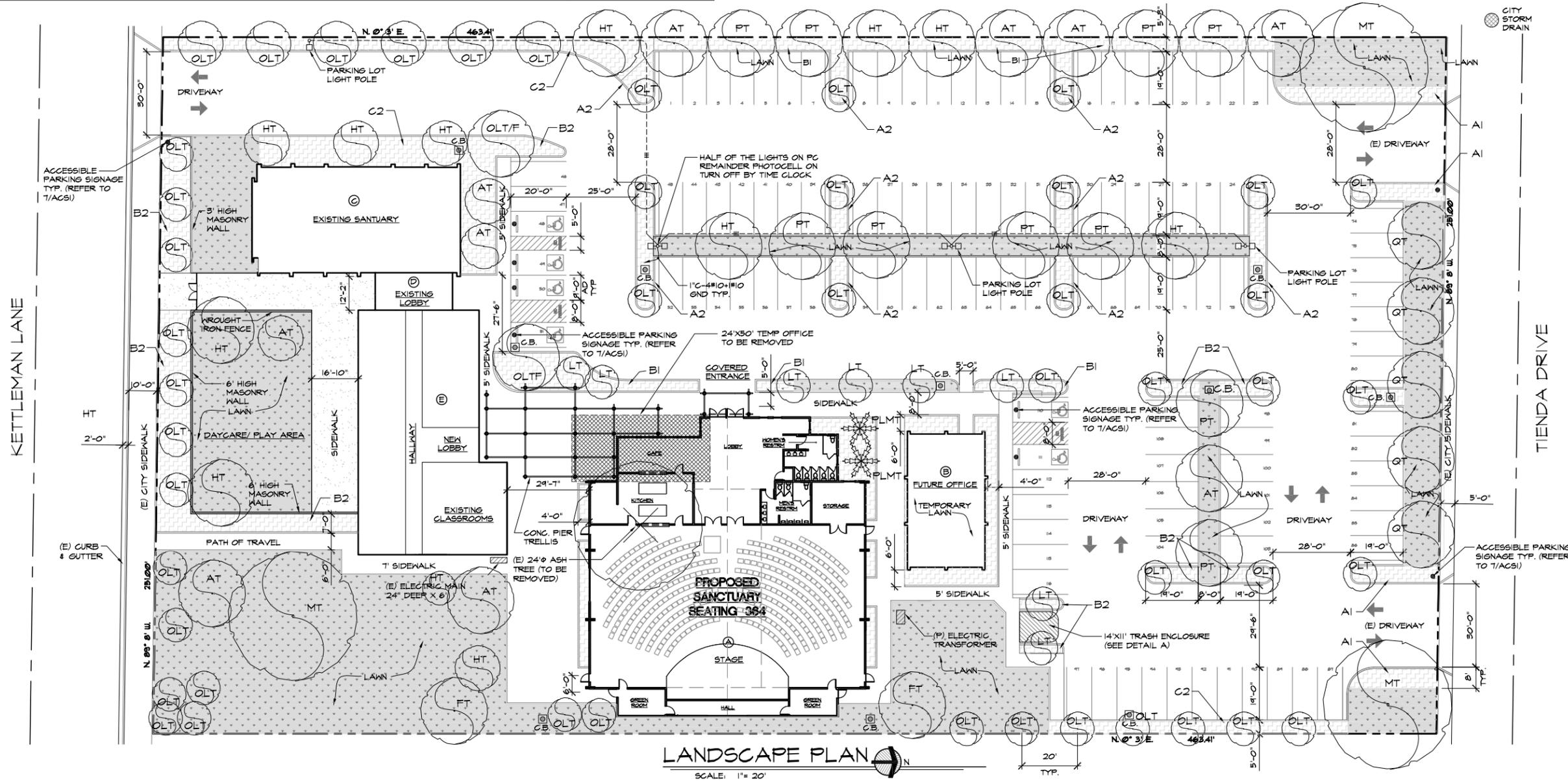
LANDSCAPE SITE PLAN
SANCTUARY ADDITION

CROSSROADS-HEARTLAND
2223 WEST KETTLEMAN LANE
LODI, CA 95242

Stamp:
REGISTERED PROFESSIONAL ENGINEER
MEMBER A TOWNSHIP
No. 30939
Exp. 3-31-12
CIVIL
STATE OF CALIFORNIA

These plans are the property of Delta Buildings Inc. They are loaned without consideration other than the agreement that they are not copied or reproduced without the consent of Delta Buildings Inc. The acceptance of these drawings will be construed as acceptance of the foregoing.

Date 11/6/10
Scale AS NOTED
Drawn A.J.D.
Job 01037
Sheet L.I.I



LANDSCAPE PLAN
SCALE: 1" = 20'



Crossroads Heartland
Delta Buildings, Inc.



Item 3b.



MEMORANDUM, City of Lodi, Community Development Department

To: Site Plan and Architectural Review Committee
From: Immanuel Bereket, Associate Planner, Community Development Department
Date: January 12, 2010
Subject: Request for Site Plan and Architectural Review Committee approval for a major remodel of an existing McDonald's Restaurant at 841 East Kettleman Lane. (Applicant, CRM Architects and Planners, Inc., on behalf of McDonald's USA, LLC; File # 10-SP-09).

RECOMMENDATION

Staff recommends the Site Plan and Architecture Review Committee approve the request of CRM Architects and Planners, Inc., on behalf of McDonald's USA, LLC, to renovate exterior of an existing McDonald's restaurant building located at 841 East Kettleman Lane, subject to the SPARC Common Design Requirements and Supplemental Conditions.

SUMMARY

The applicants, CRM Architects and Planners, Inc., on behalf of McDonald's USA, LLC, proposes exterior renovation of an existing McDonald's Restaurant located at 841 East Kettleman Lane. The applicant proposes to re-paint the exterior of the building, remove existing mansard roof, modify existing drive-thru aisle, install interior and exterior ADA upgrades, remove and replace existing wall lighting, and remove and replace signs. The project is consistent with City design standards. Current review is limited to the architectural design of the McDonald's building and does not include the use or operational aspects of this building. Staff recommends approval of the project.

BACKGROUND

The City received SPARC application (10-SP-09) and building permits to install ADA updates and to renovate a McDonald's business located at 841 East Kettleman Lane. The site is zoned General Commercial (C-2), which requires SPARC review and approval of commercial projects in accordance with the City's standards. McDonald's restaurant has operated at the project site since 1999. The restaurant is visible from Kettleman Lane, Highway 99, Business Park Drive and Beckman Road. Available City records indicate there are no outstanding code violations.

ANALYSIS

McDonald's building is located east of Kettleman Lane and State Highway 99 intersection. The adjacent areas consist of coffee shop, hotel, and office uses. The site is zoned General Commercial (C-2). The building stands parallel to State Highway 99. Primary entrance is provided from the eastern elevation and has various secondary access points provided throughout the building. A double trash enclosure is provided on the parking lot area. The site was originally constructed during the 1970s. Consequently, its architectural style reflects the corporate specifications of a McDonald's restaurant of that era. The current building (Attachment D) features the standard franchise architectural elements of a traditional McDonald's with a mansard roof affixed above a rectangular building, featuring a red and white facade. The project under review is proposed as part of a company-wide rebranding effort to update and improve the aesthetic appearance of McDonald's restaurants throughout the country.

As illustrated on the plans, the applicant is proposing to re-paint the body of the building, remove existing mansard roof, install ADA upgrades and modify existing drive-through isle to improve the effectiveness of its operations. The parking lot will be repaved and restriped to better accommodate on-site traffic circulation. There is no building expansion proposed as part of this project. In conjunction with these changes, the applicants propose to modify menu boards, which they hope will

expedite service to drive-through patrons, thereby reducing the number of vehicles waiting in the drive-aisle.

As previously mentioned, the project proposes several architectural changes to the building exterior, influenced by the established corporate rebranding architectural theme. Much of the existing building's exterior will be demolished to create architectural improvements that would significantly transform the appearance of the building. Some of the major proposed renovations include:

- New stucco finish and brick (red) and dark brown exterior paint colors to include "snow white" as the main color, with silver color (metal) trellis and gray color store front windows
- New cornice to enhance the detail of the existing roof line and two arcade walls that break up the roofline and give it greater visual interest
- Metal trellises on the east and west elevations and also a larger trellis with decorative brick-laden support columns, located above the drive-through aisle on the south elevation
- New tower element featuring a traditional McDonald's yellow roof cover, creating more distinctive articulation between the existing building and the new architectural style

The series of color elevations in *Attachment E* further illustrate the level of redevelopment and attention to architectural detail of the proposed project. Overall, the proposed design represents significant exterior renovation of a building that has not been updated since its construction. In addition to renovations proposed, the applicants also intend to reface existing signs. The proposed signs, including store identification signs, menu boards, traffic directional signs, and a monument sign, conform to standards established by the Lodi Municipal Code. All the signage will be typical McDonald's corporation signs.

Staff has reviewed the proposed exterior improvement for consistency with the City's rules and existing entitlements and determined that the project meets the requirements established by the City. Removal of the mansard roof, replacement of franchise McDonald's colors with an earth-tone palette, the addition of metal trellises, and the new tower element create a more visually interesting and distinct building. The proposed architecture is consistent with the design and scale of adjacent buildings and incorporates the same elements of recently renovated McDonald's buildings throughout California. Approval of the project would not interfere with existing traffic or nearby businesses. The applicant's request affords the Site Plan and Architectural Committee (SPARC) an opportunity to review the proposed alteration. The proposed façade improvements significantly alter existing architectural features and elevations. Because the subject property is within a General Commercial zoning district, staff feels SPARC must review and approve the proposed alterations that are beyond maintenance level improvements.

The applicant's request has been reviewed by various City departments. All departments recommend approval of the project. The project is compatible with the site, neighboring buildings and surroundings and promotes harmonious transitions in scale and character between different buildings in the immediate areas. There will be no increase in building floor area or location and building height will remain consistent with existing conditions. The existing irrigation system and landscape will remain intact. No landscaping would be removed due to this project. Proposed design, materials and business identification signs are consistent with other recently approved colors along Kettleman Lane. Based upon City evaluation and analysis, staff recommends that the Site Plan and Architectural Review Committee adopt the findings of this report and approve the proposed renovation and addition of a building located at 841 East Kettleman Lane, subject to SPARC Common Conditions and Supplemental Conditions.

SPARC COMMON CONDITIONS

1. The parking and driveway design shall conform to City of Lodi parking lot design standards.

2. Directional signs or arrows shall be provided where necessary.
3. All on and off-site improvements shall be installed as per Public Works, Utility and Fire Department requirements.
4. Building mounted signs shall be consistent with the City of Lodi sign regulations.

The above requirements constitute a list of conditions most often required by the Site Plan and Architectural Review Committee (SPARC) in its review of plans. Staff's recommendations unique to the proposed office building are listed below in Supplemental Conditions.

SUPPLEMENTAL CONDITIONS

In addition to the Committee's Common Design Requirements, staff recommends approval of the site plan and architectural request of CRM Architects and Planners, Inc., on behalf of McDonald's USA, LLC, to renovate an existing building located at 841 East Kettleman Lane, subject to the SPARC Common Design Requirements and Supplemental Conditions.

1. The project proponent will defend, indemnify, and hold the City, its agents, officers, and employees harmless of any claim, action, or proceeding to attack, set aside, void, or annul this permit, so long as the City promptly notifies the developer of any claim, action, or proceedings, and the City cooperates fully in defense of the action or proceedings.
2. The project proponent shall submit appropriate plans to the Community Development Department for plan check and building permit. The plans shall include architectural features such as the colors, elevation including all other elements approved by the Site Plan and Architectural Committee. Any significant alteration to the site plan as approved by the Site Plan and Architectural Committee shall require an action by the Site Plan and Architectural Committee. Minor changes, however, may be approved subject to review and approval of the Community Development Director.
3. The applicant shall submit plans for building permit to allow the proposed façade alterations. All plan submittals shall be based on the City of Lodi Building Regulations and currently adopted 2007 California Building Code.
4. The applicant shall submit plans for building permit to allow the proposed façade alterations. All plan submittals shall be based on the City of Lodi Building Regulations and currently adopted 2007 California Building Code.
5. The project proponent shall ensure that exterior building mounted light fixtures do not spill light onto adjacent properties. Flashing, shimmering and/or rotating lights shall not be permitted. The applicant shall submit lighting program along with building permit plans. The said plan shall show a lighting plan for the entire site showing the height, location and lamp style and details of the proposed lightings to be used, including photometric contours.
6. Existing Landscaping materials and irrigation plan may be changed per the review of the Community Development Director but shall not be reduced in amount.
7. Final exterior materials and colors shall be consistent with what is shown on the SPARC plans and be approved by the Community Development Director prior to issuance of building permit.
8. All signs shall comply with the City of Lodi's Zoning Ordinances. All signage shall be subject to review and approval of the Community Development Director. All signage shall be individual channel letters or the equivalent. No exposed raceway shall be permitted with the signage. All identification signs shall require a building permit.
9. The proposed building must comply with all SPARC requirements; as well as the requirements of the Community Development, the Public Works, the Electric Utility and the Fire Departments; and all other utility agencies.

10. All roof mechanical equipment and any satellite dish equipment shall be fully screened from ground-level view within 150 feet of the property.
11. A photometric exterior lighting plan and fixture specification shall be submitted for review and approval of the Community development Director prior to the issuance of any building permit. Said plans and specification shall address the following:
 - a) All project lighting shall be confined to the premises. No spillover beyond the property line is permitted.
 - b) The equivalent of one (1) foot-candle of illumination shall be maintained throughout the parking area.
 - c) All parking light fixtures shall be a maximum of twenty-five 25 feet in height.
 - d) All fixtures shall be consistent throughout the center.
12. Exterior lighting fixtures on the face of the buildings shall be consistent with the theme of the center. No wallpacks or other floodlights shall be permitted. All building mounted lighting shall have a 90-degree horizontal flat cut-off lens unless the fixture is for decorative purposes.
13. Prior to reliance on this conditional approval, the applicant shall sign an affidavit, stating that the applicant has read, understands and will comply with the above conditions. This affidavit shall be returned to the City of Lodi Planning Division prior to issuance of a building permit.
14. Additional comments and conditions will be provided in conjunction with the approval of a building permit for this project.

Respectfully Submitted,

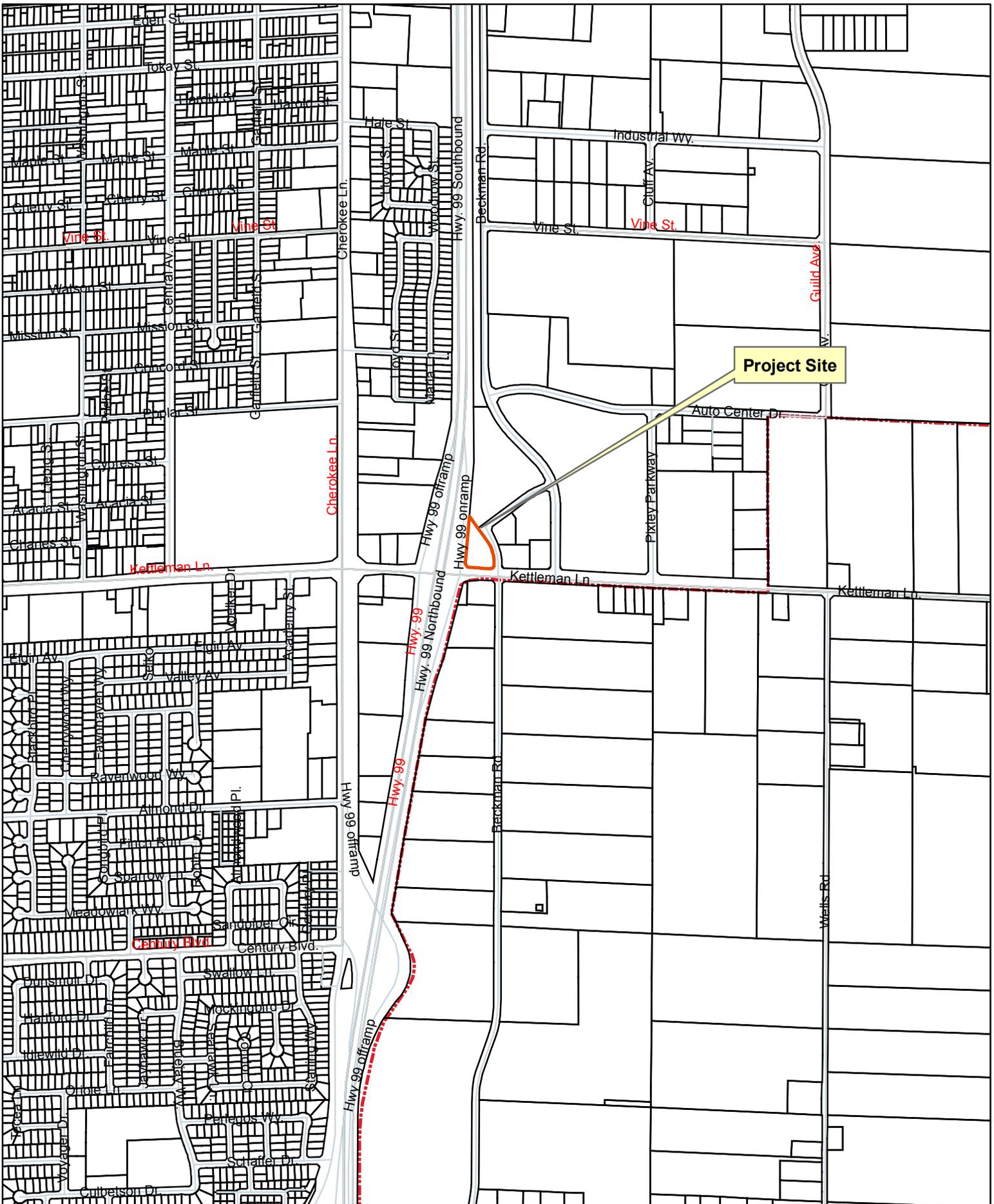
Concur,

Immanuel Bereket
Associate Planner

Konradt Bartlam
Community Development Director

EXHIBITS:

- A. Vicinity Map
- B. Aerial Map
- C. Material and Color Pallet
- D. Existing Elevations
- E. Proposed Elevations



Vicinity Map

McDonald
 841 East Kettleman Lane
 Lodi, CA 95240

Legend

 Project Site



Project Site

Aerial Map

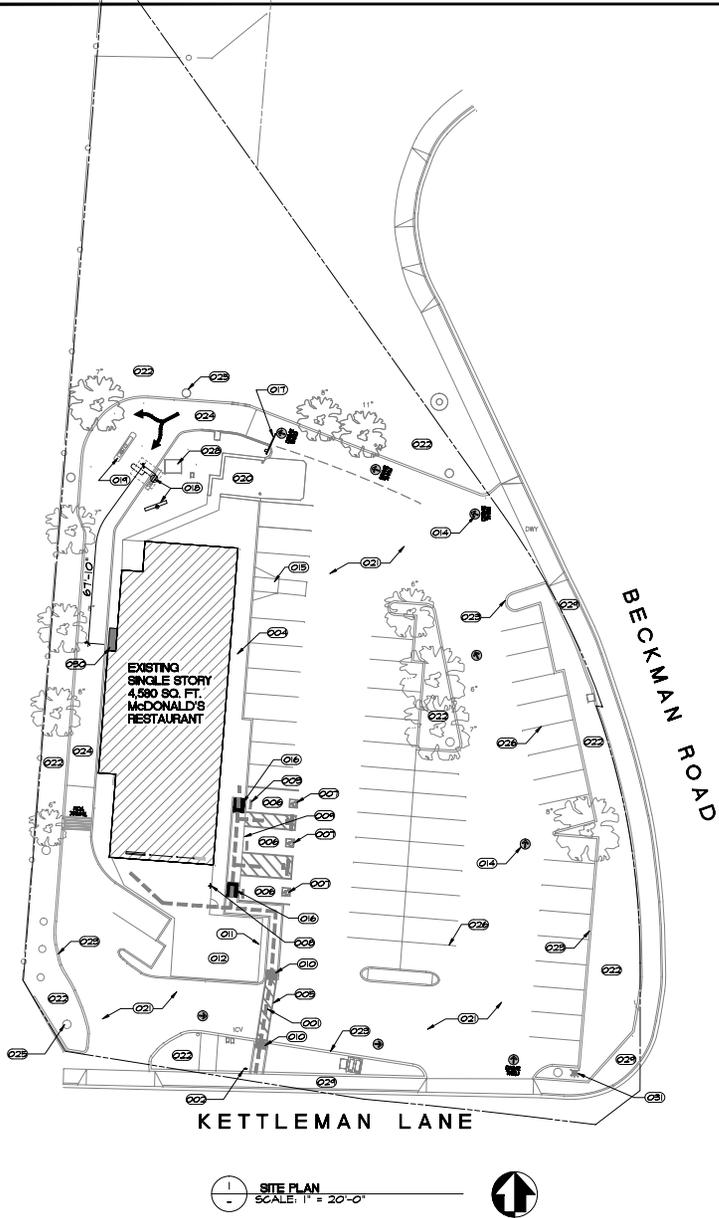
McDonald
 841 East Kettleman Lane
 Lodi, CA 95240

Legend

 Project Site



US HIGHWAY 99



1 SITE PLAN
SCALE: 1" = 20'-0"



KEYNOTES

- 020 EXISTING ADA PATH OF TRAVEL SHOWN DASHED.
- 022 NEW POLE MOUNTED INTERNATIONAL SYMBOL OF ACCESSIBILITY AT ACCESSIBLE PATH OF TRAVEL.
- 023 EXISTING PRE-CAST CONCRETE WHEELSTOPS.
- 024 EXISTING 4" THICK CONCRETE WALK, MEDIUM BRUSH FINISH PERPENDICULAR TO PATH OF TRAVEL, SLOPE NOT TO EXCEED 5% IN DIRECTION OF TRAVEL, CROSS SLOPE NOT TO EXCEED 2%. CONTRACTOR TO FIELD VERIFY ELEVATION DIFFERENCE. LENGTH OF WALK TO BE AS NEEDED BASED ON REQUIRED MAXIMUM SLOPE OF 5%.
- 025 EXISTING STRIPED PATTERN DRIVE AISLE PEDESTRIAN CROSSINGS.
- 026 EXISTING ACCESSIBLE PARKING SPACES, PAINT ACCESSIBLE LOADING ZONE WITH 4" WIDE STRIPING WITH TWO COATS OF HIGHWAY BLUE PAVEMENT MARKING PAINT. PAINT THE WORDS "NO PARKING" IN 12" HIGH LETTERS WITHIN THE LOADING ZONE.
- 027 EXISTING INTERNATIONAL SYMBOL AT NEW PARKING STALL (TYP).
- 028 NEW/EXISTING ACCESSIBLE PARKING SIGNAGE (TYP 3 PLACES)
- 029 EXISTING FLUSH SURFACE AT TRANSITION.
- 030 NEW 8'-0" MINIMUM WIDTH TRUNCATED DOMES TACTILE WARNING.
- 031 EXISTING METAL FENCE TO BE REMOVED.
- 032 EXISTING PLAY PLACE STRUCTURE TO BE REMOVED
- 033 NOT USED
- 034 NEW PARKING LOT, PAVING STRIPING PER MCDONALD'S STANDARDS (TYPICAL)
- 035 EXISTING SERVICE RAMP
- 036 EXISTING CURB RAMP WITH NEW TRUNCATED DOME DETECTABLE WARNING SURFACE
- 037 REMOVE EXISTING HEIGHT BAR, PROVIDE NEW HEIGHT BAR PER MCDONALD'S STANDARDS, UNDER SEPARATE PERMIT. (FOR REFERENCE ONLY)
- 038 REMOVE EXISTING DRIVE-THRU MENU BOARD/COD REPLACE WITH NEW MENU BOARD
- 039 EXISTING DRIVE-THRU MENU BOARD/COD TO REMAIN
- 040 EXISTING MASONRY TRASH ENCLOSURE TO REMAIN
- 041 EXISTING AG PAVING TO REMAIN
- 042 EXISTING LANDSCAPING TO REMAIN
- 043 EXISTING 6" CONCRETE CURBS TO REMAIN
- 044 EXISTING CONCRETE PAVING TO REMAIN
- 045 EXISTING SIGNAGE TO REMAIN.
- 046 EXISTING PARKING STRIPING TO REMAIN
- 047 NOT USED
- 048 EXISTING ELECTRICAL TRANSFORMER TO REMAIN
- 049 EXISTING SIDEWALK, CURB AND GUTTER TO REMAIN (TYPICAL)
- 050 22 SF. ADDITION
- 051 EXISTING FIRE HYDRANT TO REMAIN

SITE IDENTIFICATION

MCDONALD'S PACIFIC SIERRA REGION
STATE SITE CODE: 004-512
ASSESSORS PARCEL NUMBER: 044-010-027
STATE: CALIFORNIA
COUNTY: SAN JOAQUIN
STREET ADDRESS: 841 KETTLEMAN LANE
CITY: LODI
ZIP: 95240

VICINITY MAP



SCOPE OF WORK

THIS PROJECT BY MCDONALD'S CONSISTS OF AN EXTERIOR REMODEL, ADA SITE UPGRADES, MINOR INTERIOR MODIFICATIONS.

SITE REMODEL: REMOVE EXISTING MENU BOARD/COD, PLAY PLACE FENCE, AND PLAY PLACE TOP. INSTALL NEW MENU BOARD AND COD. NEW ADA SIGNAGE NECESSARY TO MEET ADA REGULATIONS AND CALIFORNIA TITLE 24 REQUIREMENTS.

EXTERIOR REMODEL: REMOVE THE EXISTING HANGARD ROOF, RELOCATE ROOF LADDER INSIDE AND PROVIDE NEW ARCADE AND STUCCO FINISH TO ENHANCE BUILDING APPEARANCE.

INTERIOR: REMOVE ALL EXISTING 2 X 4 AND 1 X 4 LIGHT FIXTURES. INSTALL NEW CAN LIGHT FIXTURES. REMOVE RESTROOM TO MEET ALL CALIFORNIA TITLE 24 REQUIREMENTS. ALL MATERIALS AND EQUIPMENT SHALL MEET SAN JOAQUIN COUNTY HEALTH STANDARDS AND THE CITY OF LODI SPECIFICATIONS.

SHEET INDEX

#	SHEET TITLE DESCRIPTION
1	TITLE SHEET, SITE PLAN
2	SITE PHOTOS
3	FLOOR PLAN
4	EXISTING ELEVATIONS
5	EXISTING ELEVATIONS
6	PROPOSED ELEVATIONS
7	PROPOSED ELEVATIONS
8	PROPOSED COLOR ELEVATIONS
9	PROPOSED COLOR ELEVATIONS
10	SIGNS

PROJECT DIRECTORY

EXISTING USE:	RESTAURANT
PROPOSED USE:	RESTAURANT
HOURS OF OPERATION:	LOBBY 5:00am - 12:00am DRIVE THRU 24 HOURS
A.P.N.:	044-010-027
SITE AREA:	35,966 S.F.
ACRE:	1.28 ACRE
EXISTING LANDSCAPING:	18,248 S.F.
EXISTING 4' X 16' PARKING STALL:	44 STALLS
PROPOSED 4' X 16' PARKING STALL:	44 STALLS
EXISTING 15' X 16' COMPACT PARKING STALL:	10 STALLS
PROPOSED 15' X 16' COMPACT PARKING STALL:	10 STALLS
H.C. PARKING PROVIDED:	9 STALLS
TOTAL PARKING PROVIDED:	57 STALLS
EXISTING RESTAURANT AREA:	4,580 S.F.
PROPOSED ADDITION AREA:	22 S.F.
PROPOSED RESTAURANT AREA:	4,602 S.F.
MAXIMUM AREA ALLOWED:	6,000 S.F.
OCCUPANCY:	A-2
SPRINKLERS:	NO
STORIES:	1 STORY
HEIGHT:	22'-2"
MAXIMUM HEIGHT ALLOWED:	40 FEET
CONSTRUCTION TYPE:	VB

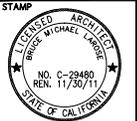
GENERAL NOTES

1. ALL GRADING AND DRAINAGE SHALL COMPLY WITH THE PUBLIC WORKS DEPARTMENT.
2. BUILDING ADDRESS NUMBERS SHALL BE A MINIMUM OF 12" HIGH IN CONTRASTING COLORS VISIBLE & LEGIBLE FROM THE STREET FRONTING THE PROPERTY.
3. ALL SIGNAGE SHALL COMPLY WITH THE PLANNING DEPT. "NO LITTERING" SIGNS SHOWN SHALL BE POSTED AS DIRECTED BY THE POLICE DEPARTMENT.
4. ALL PROPOSED WALKS THAT SLOPE 1:20 (5%) SHALL COMPLY WITH RAMP REQUIREMENTS PER SECTION 10358.51.
5. WALKS ALONG AN ACCESSIBLE ROUTE OF TRAVEL ARE REQUIRED TO BE 48" MINIMUM IN WIDTH AND HAVE SLIP RESISTANT SURFACES, PER SECTION 10358.7.
6. NO ADDITIONAL SEATING WILL BE ADDED.



CONSULTANT

McDonald's USA LLC
These drawings and specifications are the confidential and proprietary information of McDonald's USA LLC. The contract documents were reproduced without written authorization. The contract documents are not to be used for any other project without the written consent of McDonald's USA LLC. Use of these drawings for reference or example on another project is prohibited. Reproduction of the contract documents for reuse on another project is not authorized.



REVISIONS

- 1
- 2
- 3
- 4
- 5
- 6

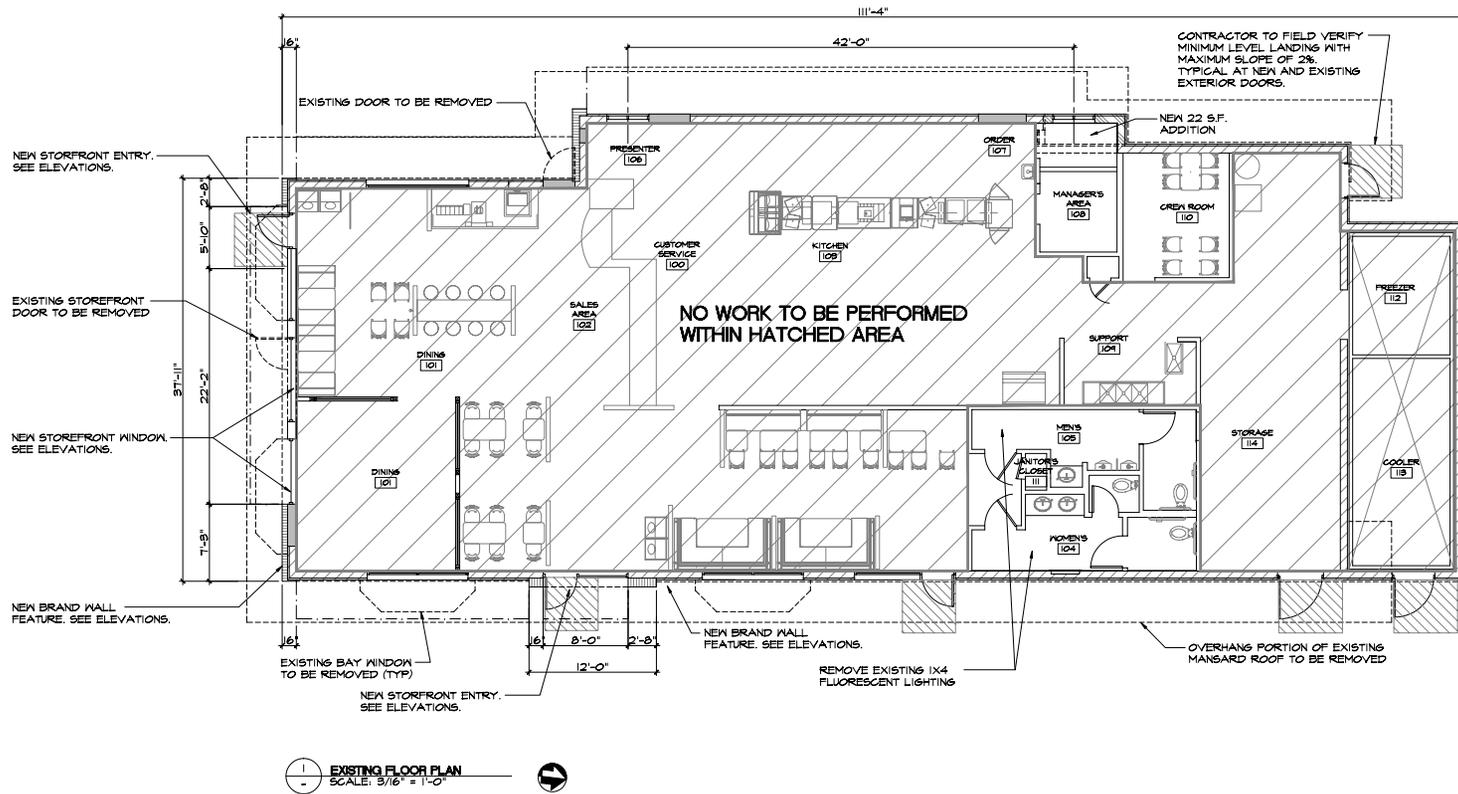
DRAWING TITLE
REFERENCE SITE PLAN

PROJECT NO. 10356.1	DATE NOV 2010
FILE NO. sheet 01	
DRAWN BY SHK	1
CHECKED BY MEV	

THIS DOCUMENT AND THE IDEAS AND DESIGN INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICES, IS THE PROPERTY OF GARIBAY ROYER MALLON ARCHITECTS AND PLANNERS, INCORPORATED AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF GARIBAY ROYER MALLON ARCHITECTS AND PLANNERS, INCORPORATED. © 2010 GARIBAY ROYER MALLON ARCHITECTS AND PLANNERS, INC.

AREA OF WORK

 NO WORK TO BE PERFORMED IN HATCH AREA. CONTRACTOR TO INFORM OWNER AND ARCHITECT IF PROPOSED WORK IS NEEDED.



 **EXISTING FLOOR PLAN**
SCALE: 3/16" = 1'-0"

FIRE NOTES

1. ALL DOORS SHALL HAVE THE FOLLOWING SIGN: THIS DOOR TO REMAIN UNLOCKED WHENEVER THE BUILDING IS OCCUPIED (1009.5.1) EXCEPTION 5) SPM CBC (1009.5.2.2)
 2. EXISTING KNICK KEY ACCESS BOX AT THE MAIN ENTRANCE (104) O/C.
- ALL PORTIONS OF THE BUILDING SHALL BE WITHIN 75 FEET OF A FIRE EXTINGUISHER. THE MINIMUM SIZE OF THE EXTINGUISHER SHALL BE 2A:1.0:8C.
4. TACTILE EXIT SIGNS SHALL COMPLY PER CBC SECTION 101.3
 5. INTERIOR WALL AND CEILING FINISH SHALL COMPLY WITH CHAPTER 8.

WALL ASSEMBLY

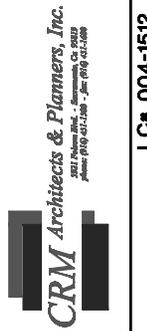
-  EXISTING 2" X 6" WOOD FRAMED EXTERIOR WALL TO REMAIN. EXTERIOR FINISH: REMOVE EXISTING RIVER ROCK HANDSCUT. ADD NEW 1/2" STUCCO AT LOWER PORTION OF WALL TO MATCH EXISTING STUCCO STUCCO ABOVE. PAINT. SEE EXTERIOR ELEVATIONS.
-  (N) 2" X 8" X 16" WOOD STUDS @ 16" ON CENTER W/ 5/4" PLYWOOD SHEATHING. EXTERIOR FINISH SHALL BE 1/2" THICK STUCCO (SEE EXTERIOR ELEVATIONS). INTERIOR FINISH SHALL BE 5/8" GYP-SHM WALL BOARD. PROVIDE A SMOOTH TEXTURE BEFORE PAINTING WALL BOARD. SEE FINISH SCHEDULE FOR COLOR OF WALLS. PROVIDE R-11 BATT INSULATION IN WALLS.
-  (N) 2" X 8" X 16" WOOD STUDS @ 16" ON CENTER W/ 5/4" PLYWOOD SHEATHING. FINISH SHALL BE 1/2" THICK STUCCO - ARCADE WALL. SEE EXTERIOR ELEVATIONS.
-  EXISTING INTERIOR WALL TO REMAIN.
-  (C) COOLER/FREEZER WALL: 4" MAXIMUM 26 GAUGE STEEL-FACED WALL & CEILING URETHANE INSULATED PANELS TO HAVE A CLASS I RATING FLAME SPREAD (ASTM-84) OF 20 AND SMOKE DEVELOPED 200.

GENERAL NOTES

1. NO INTERIOR WORK SHALL BE DONE UNDER THIS PERMIT.
2. MATERIALS IN EXCESS OF THE EXEMPT AMOUNT SHOWN IN THE BUILDING AND FIRE CODES SHALL NOT BE PERMITTED WITHOUT APPROVAL OF THE FIRE DEPARTMENT.
3. DO NOT SCALE DRAWINGS.
4. SEE SITE PLAN FOR SIDEWALKS, RAMPS, ETC.
5. ALL EXITS SHALL MEET OR EXCEED REQUIREMENTS CBC SECTION 1009.
6. A SIGN SHALL BE PROVIDED ON OR NEAR THE EXIT DOOR THAT STATES: THIS DOOR IS TO REMAIN UNLOCKED DURING BUSINESS HOURS. THIS SIGN MUST BE LOCATED AT THE MAIN EXIT ONLY.
7. EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE.

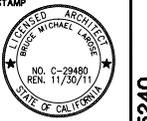
ADA NOTES

1. IF FIXED OR BUILT-IN SEATING TABLES OR COUNTERS AND PROVIDED IN PUBLIC COMMON USE OR GENERAL EMPLOYEE AREA, AT LEAST FIVE PERCENT (5%) BUT NOT LESS THAN ONE (1) SHALL BE ACCESSIBLE AS DETAILED BELOW PER SECTION 1122B.
 - A) HEIGHT OF TABLES OR COUNTERS IS BETWEEN 28" & 34" FROM THE FLOOR OF GROUND.
 - B) MINIMUM 30" X 48" CLEAR FLOOR SPACE IS PROVIDED.
 - C) ONE FULL UNOBSTRUCTED SIDE OF THE CLEAR FLOOR SPACE ADJACENT OR OVERLAPS AN ACCESSIBLE ROUTE OR ANOTHER WHEELCHAIR CLEAR FLOOR SPACE.
 - D) KNEE CLEARANCE AT TABLES, COUNTERS AND WORK SURFACES IS AT LEAST 27" HIGH, 30" WIDE AND 14" DEEP.
2. DINING AREA SHALL HAVE ONE WHEELCHAIR SEATING SPACE FOR EVERY 30 SEATS (THE RATIO OF ACCESSIBLE SEATING IS BASED ON THE TOTAL NUMBER OF SEATS PROVIDED. SUCH SEATING SHALL BE DESIGNED AND ARRANGED TO PERMIT USE BY WHEELCHAIR OCCUPANTS AND SHALL COMPLY WITH SECTION 1122B).
3. ACCESSIBLE SEATING SHALL BE INTEGRATED WITH GENERAL SEATING TO ALLOW A REASONABLE SELECTION OF SEATING AREA AND TO AVOID HAVING ONE AREA SPECIFICALLY IDENTIFIED AS THE AREA FOR PERSONS WITH DISABILITIES.
4. WHERE FIXED OR BUILT-IN TABLES, COUNTERS OR SEATS ARE PROVIDED FOR THE PUBLIC AND IN GENERAL EMPLOYEE AREA, 5% (BUT NEVER LESS THAN ONE) MUST BE ACCESSIBLE. (122B.1)
5. THE TOPS OF TABLES AND COUNTERS SHALL BE 28" TO 34" FROM THE FLOOR, WHERE A SINGLE COUNTER CONTAINS MORE THAN ONE TRANSACTION STATION, SUCH AS A BANK COUNTER WITH MULTIPLE TELLER WINDOWS OR A RETAIL SALES COUNTER WITH MULTIPLE CASH REGISTER STATIONS, AT LEAST 5% (BUT NEVER LESS THAN ONE OF EACH TYPE OF STATION) SHALL BE LOCATED AT A SECTION OF COUNTER THAT IS AT LEAST 54" LONG AND NO MORE THAN 28" TO 34" HIGH. (122B.4)
6. SHOW OR NOTE THAT THE PROPOSED GENERAL SALES, DISPLAY AND OFFICE AREAS ARE ACCESSIBLE PER SECTION 1101.5) AS FOLLOWS:
 - A) WORK STATIONS ARE LOCATED ON ACCESSIBLE LEVELS.
 - B) THE CUSTOMER SIDE OF SALES OR CHECKOUT STATIONS ARE ACCESSIBLE.
 - C) EMPLOYEE WORK AREAS ARE SIZED AND ARRANGED TO PROVIDE ACCESS TO EMPLOYEES IN WHEEL CHAIRS.
 - D) ALL CIRCULATION AISLES AND PEDESTRIAN PATHS SHALL BE SIZED ACCORDING TO FUNCTIONAL REQUIREMENTS AND 36" X 48" IN CLEAR WIDTH.
 - E) ALL POINT-OF-SALE MACHINES, USED BY CUSTOMERS FOR THE PRIMARY PURPOSE OF EXECUTING TRANSACTIONS BETWEEN THE BUSINESS ENTITY AND THE CUSTOMER SHALL COMPLY WITH SECTION 1117.7 FOR ATM AND POINT OF SALE MACHINES.



CONSULTANT

McDonald's USA LLC
These drawings and specifications are the confidential and proprietary information of McDonald's USA LLC. The contract documents were prepared without written authorization. The contract documents are not to be used for any other project without the written consent of McDonald's USA LLC. Use of these drawings for reference or reuse on another project without the written consent of McDonald's USA LLC is not authorized.



REVISIONS	
	
	
	
	
	
	
DRAWING TITLE PROPOSED FLOOR PLAN	
PROJECT NO. 1056.1	DATE NOV 2010
FILE NO. sheet CB	
DRAWN BY SHK	3
CHECKED BY MEM	



PHOTO 2



PHOTO 3



PHOTO 4



PHOTO 5



PHOTO 6



PHOTO 1



PHOTO 7



PHOTO 16



PHOTO SITE PLAN
NO SCALE



PHOTO 15



PHOTO 8



PHOTO 14



PHOTO 13



PHOTO 12



PHOTO 11



PHOTO 9



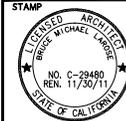
PHOTO 10



CONSULTANT

McDonald's USA LLC

These drawings and specifications are the confidential and proprietary information of McDonald's USA LLC. The contract documents were reproduced without written authorization. Use of these drawings for reference or example on another project is prohibited. Reproduction of the contract documents for reuse on another project is not authorized.



REVISIONS	
▲	
▲	
▲	
▲	
▲	
▲	
▲	
▲	
▲	
▲	

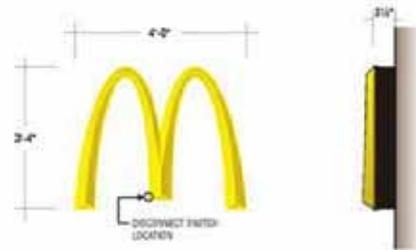
DRAWING TITLE
PHOTO PLAN

PROJECT NO.	1036.1	DATE	NOV 2010
FILE NO.	sheet 02		
DRAWN BY	SYK		
CHECKED BY	MEI		
			2



LED ILLUMINATED SIGNBODY SIGN 3.00 Sq Ft
 Quantity: Two (2) Required

- SPECIFICATIONS:**
- **TWO** PIECE FORMED CHANNEL PLAQUE. LETTERS TO BE VACUUM-FORMED AND DECORATED VIA FLAT CUT AND SPRAY SECOND SURFACE
 - **FACE:** 6.5 FT CLEAR PAINTED SIGNSURFACE WHITE
 - **BACK:** TO BE FORMED IN BLACK ABS AND PAINTED WHITE INSIDE
 - **ILLUMINATION:** WHITE LED ILLUMINATION WITH POWER SUPPLY MOUNTED INTERNALLY



LED ILLUMINATED SELF-CONTAINED CHANNEL ARCH 11.00 Sq Ft
 Quantity: Four (4) Required

- SPECIFICATIONS:**
- **ARCH:** INTERIOR ILLUMINATED CHANNEL LOGO
 - **FACE:** VACUUM FORMED PRISMATIC SHAPED .112 YELLOW POLYCARBONATE. PERIMETER EDGE IS FORMED TO WRAP OVER SACKING & ATTACHED WITH PAN HEAD SCREWS
 - **RETURN/SIDE:** 3/16" DEEP BLACK VACUUM FORMED ABS
 - **ILLUMINATION:** WHITE LED ILLUMINATION WITH POWER SUPPLY MOUNTED INTERNALLY



NON-ILLUMINATED FREESTANDING FLAT CUT OUT LETTERS 1.00 Sq Ft
 Quantity: Two (2) Required

- SPECIFICATIONS:**
- **LETTERS:** FLAT CUT OUT ALUMINUM PAINTED SILVER (TO MATCH AWNING SUPPORT)
 - **BACK:** ALUMINUM PAINTED BLACK MOUNTED TO AWNING SUPPORT WITH 1/4" 20 SELF DRILLING SCREWS FOUR (4) PLACES

CRM Architects & Planners, Inc.
 2021 Ocean Blvd., Suite 200, Lodi, CA 95240
 Phone: (951) 671-1100 - Fax: (951) 671-1100

CONSULTANT

McDonald's USA LLC
 These drawings and specifications are the confidential and proprietary information of McDonald's USA LLC. The contract documents were reproduced without written authorization. The contract documents are not to be used for any other project without the written consent of McDonald's USA LLC. Use of these drawings for reference or example on another project without the written consent of McDonald's USA LLC is not authorized.



REVISIONS

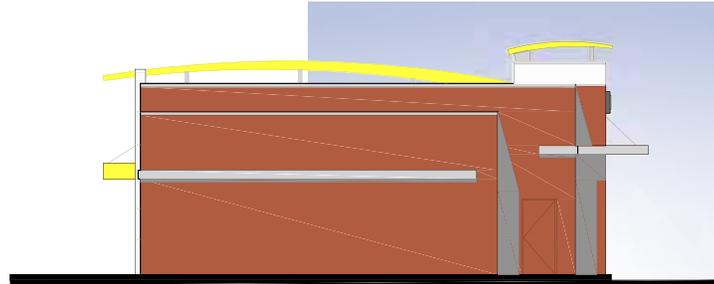
DRAWING TITLE
SIGNAGE

PROJECT NO. 1056.1	DATE NOV 2010
FILE NO.	
SHEET 10	
DRAWN BY SHK	
CHECKED BY MEM	10

THIS DOCUMENT AND THE IDEAS AND DESIGN INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICES, IS THE PROPERTY OF CARISMA ROYNER MALLIN ARCHITECTS AND PLANNERS, INCORPORATED AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF CARISMA ROYNER MALLIN ARCHITECTS AND PLANNERS, INCORPORATED. © 2010 CARISMA ROYNER MALLIN ARCHITECTS AND PLANNERS, INC.



2 WEST ELEVATION
SCALE: 3/16" = 1'-0"



1 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



CONSULTANT

McDonald's USA LLC

These drawings and specifications are the confidential and proprietary information of McDonald's USA LLC. The contract documents were reproduced without written authorization. The contract documents are for use on a different site or at a different time and are not to be used for any other project. Use of these drawings for reference or example on another project is prohibited. Reproduction of the contract documents for reuse on another project is not authorized.

STAMP



REVISIONS

- ▲
- ▲
- ▲
- ▲
- ▲
- ▲
- ▲
- ▲

DRAWING TITLE
COLOR ELEVATIONS

PROJECT NO. 1036	DATE NOV 2010
FILE NO.	
DRAWN BY SJK	9
CHECKED BY MEM	

THIS DOCUMENT AND THE IDEAS AND DESIGN INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICES, IS THE PROPERTY OF GARISSEMI ROHRER McMULLEN ARCHITECTS AND PLANNERS, INCORPORATED AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF GARISSEMI ROHRER McMULLEN ARCHITECTS AND PLANNERS, INCORPORATED.



1
-
EAST ELEVATION
SCALE: 3/16" = 1'-0"



1
-
SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



CONSULTANT

McDonald's USA LLC

These drawings and specifications are the confidential and proprietary information of McDonald's USA LLC. The contract documents were reproduced without written authorization. The contract documents are for use only for the specific project identified in the title block. They are not to be used for any other project without the written consent of McDonald's USA LLC. Use of these drawings for reference or example on another project is prohibited. Reproduction of the contract documents for reuse on another project is not authorized.

STAMP



REVISIONS

- 1
- 2
- 3
- 4
- 5
- 6
- 7
- 8

DRAWING TITLE

COLOR ELEVATIONS

PROJECT NO. 036.1 DATE NOV 2010

FILE NO. sheet 08

DRAWN BY SHK 8

CHECKED BY MEV

THIS DOCUMENT AND THE IDEAS AND DESIGN INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICES, IS THE PROPERTY OF GARISSEM ROHNER McMULLEN ARCHITECTS AND PLANNERS, INCORPORATED AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF GARISSEM ROHNER McMULLEN ARCHITECTS AND PLANNERS, INCORPORATED.

STUCCO
ARCADE



BUILDING

**CANOPY AND
ROOF CAP ELEMENT**



STOREFRONT



**TRELLIS SYSTEM
PARAPET COPING**



McDonald's
1049 East March Lane
Stockton, Ca. 95210