

7. GENERAL PLAN UPDATE/DEVELOPMENT CODE UPDATE
8. ACTIONS OF THE SITE PLAN AND ARCHITECTURAL REVIEW COMMITTEE
9. UPDATE ON COMMUNITY SEPARATOR/GREENBELT TASK FORCE
10. ART IN PUBLIC PLACES
11. COMMENTS BY THE PUBLIC
12. COMMENTS BY THE PLANNING COMMISSIONERS & STAFF
13. ADJOURNMENT

Pursuant to Section 54954.2(a) of the Government Code of the State of California, this agenda was posted at least 72 hours in advance of the scheduled meeting at a public place freely accessible to the public 24 hours a day.

***NOTICE: Pursuant to Government Code §54954.3(a), public comments may be directed to the legislative body concerning any item contained on the agenda for this meeting before (in the case of a Closed Session item) or during consideration of the item.*

Right of Appeal:

If you disagree with the decision of the commission, you have a right of appeal. Only persons who participated in the review process by submitting written or oral testimony, or by attending the public hearing, may appeal.

Pursuant to Lodi Municipal Code Section 17.72.110, actions of the Planning Commission may be appealed to the City Council by filing, within ten (10) business days, a written appeal with the City Clerk and payment of \$300.00 appeal fee. The appeal shall be processed in accordance with Chapter 17.88, Appeals, of the Lodi Municipal Code. Contact: City Clerk, City Hall 2nd Floor, 221 West Pine Street, Lodi, California 95240 – Phone: (209) 333-6702.

**LODI PLANNING COMMISSION
REGULAR COMMISSION MEETING
CARNEGIE FORUM, 305 WEST PINE STREET
WEDNESDAY, APRIL 23, 2008**

1. CALL TO ORDER / ROLL CALL

The Regular Planning Commission meeting of April 23, 2008, was called to order by Vice Chair Kiser at 7:02 p.m.

Present: Planning Commissioners – Cummins, Hennecke, Kirsten (8:20), Kiser, and Olsen

Absent: Planning Commissioners – White, and Chair Mattheis

Also Present: City Manager Blair King, Planning Manager Peter Pirnejad, Deputy City Attorney Janice Magdich, Senior Planner David Morimoto, Junior Planner Immanuel Bereket, and Administrative Secretary Kari Chadwick

2. MINUTES

“April 9, 2008”

MOTION / VOTE:

The Planning Commission, on motion of Commissioner Olson, Cummins second, approved the Minutes of April 9, 2008 as written.

3. PUBLIC HEARINGS

None

4. PLANNING MATTERS/FOLLOW-UP ITEMS

- a. Find the Lodi Community Improvement Project consistent with the General Plan, approve reduced territory, and review the Draft Program Environmental Impact Report.

Planning Manager Pirnejad introduced City Manager Blair King who gave a brief PowerPoint presentation based on the staff report. Ernie Glover, consultant for the Community Improvement Project, came forward to add comments. A Redevelopment Plan authorizes the Agency to collect tax increments and various other benefits such as incurring long-term debt to implement the plan. This is not a one project program; it will take on projects over 30 years. The Plan outlines the guidelines in which projects can be undertaken.

Commissioner Cummins asked if any of the tax revenues generated could go toward the General Fund. City Manager King stated that the funds will not flow through the General Fund. An administrative fee can be charged to the program which would go to the fund that is administering the project.

Vice Chair Kiser asked about the funds that can be spent outside of the project area. City Manager King stated that in the case of Affordable Housing funds can be spent outside of the project area.

Commissioner Olson asked if Mr. Glover in all his experience working with Redevelopment Agencies had ever seen the Emanate Domain condition added back into the conditions. Mr. Glover stated that he had not and if the agency wants to put it back into the guidelines it would have to go back through the very lengthy process of getting the plan re-adopted.

HEARING OPENED TO THE PUBLIC

- John Talbet, Lodi, came forward to oppose the project. Mr. Talbet stated that there has not been any mention of the debt that will be incurred. Emanate Domain is still a factor because it is allowed by State Law even if it isn't by local law. Blight has not been

Continued

mentioned and to infer that the entire eastside is blighted by implementing this plan is wrong. This will hurt the property values within the area.

- Barbara Flockhart, Lodi, came forward to oppose the project. Mrs. Flockhart wanted to bring up the fact that this project is going to last 40 years how will the different City Councils feel about the project plan. What will happen to the property if the owner doesn't keep up with the conditions in the agreement? Can they take the property away?
- Anne Cerney, Lodi, came forward to propose some questions regarding the project. Ms. Cerney wanted to know how receptive the business owners will be to the rules. There is no process for a certificate of performance. The term "in good faith" could be made to be more specific to help protect the property owners. Ms. Cerney stated that time is a big factor. The general public doesn't move at the same pace as government agencies. She doesn't feel there was a significant time period to review the EIR document.

PUBLIC PORTION OF HEARING CLOSED

- City Manager King answered questions raised by the public. He stated that the public is protected by the simple fact that emanate domain is not an option in the plan. There is no noticing encroachment under the CEQA guidelines. There have been several public noticed meetings leading up to this point. Bonded debt is not the same as other types of debt. There are no plans by the agency to issue bonded debt. State Law states that an amount limit for bonded debt be stated in the plan.

RE-OPENED TO THE PUBLIC

- John Talbet came forward to address the bond issue. Ernie Glover came forward to add more comments on the bonded debt subject. He stated that the 400 million limit was chosen based on the estimated agency revenue over the entire plan term. What is the plan for the first phase of the issuance of bonded debt? City Manager King stated that there are no plans to issue bonded debt. Mr. Glover stated that the agency won't be seeing the first monies until late 2009. Each year the agency files a "Statement of Indebtedness" showing the previous year's usage and projections for the coming year. Mr. Glover also stated some of the definitions of blight.
- Commissioner Hennecke asked if we were designating this area as a blighted area by adopting this plan. City Manager King stated that the Planning Commission is adopting the Plan's Project Area. Blight is a specific term that has many factors and the eastside meets many of the descriptions.
- Commissioner Olson asked if this agency becomes a reality when will the plan increment start to grow. Mr. Glover stated that the values are implemented on the base year of 2007. The values will grow from that base. Commissioner Olson also asked if the EIR document was available on April 2nd. Planning Manager stated that yes it was. It was made available at City Hall and the Library and was also put online on April 11th which is over and above the requirements.
- Commissioner Hennecke stated that the increment increase is based on the property values going up. City Manager King stated that the property is reassessed when it is sold. The theory is that a lot of the properties in this area have been held for a long period of time and therefore have increased in value.
- Anne Cerny, Lodi, came forward to mention that the EIR was not available to her until a couple of days after the start date. She also asked if the only persons that can appeal this decision to remove the property are the people that own property within that area. Deputy City Attorney Magdich stated that she would have to research that unless Mr. Glover knows. Ms. Cerney wanted to know what the time limit is for the owner participation form to be turned in.

Continued

PUBLIC PORTION OF HEARING RE-CLOSED

- City Manager King stated that the owner participation form is not a requirement. Mr. Glover stated that anybody can appeal.
- Commissioner Olson stated that in her experience Redevelopment is a good thing. She also wanted to say that if the document has started its time period then it should be made available on that day.

MOTION / VOTE:

The Planning Commission, on motion of Commissioner Olson, Cummins second, recommended to the City Council to remove certain territory from the proposed Lodi Community Improvement Project subject to the conditions in Resolution P.C. 08-09 with attached map. The motion carried by the following vote:

Ayes: Commissioners – Cummins, Hennecke, Olson, and Vice Chair Kiser
 Noes: Commissioners – None
 Absent: Commissioners – Kirsten, White, and Chair Mattheis

Commissioner Kirsten arrived at the meeting at 8:20 and joined the Commission after the above item for the rest of the meeting.

5. ANNOUNCEMENTS AND CORRESPONDENCE

None

6. ACTIONS OF THE CITY COUNCIL

- b. Planning Manager Pirnejad pointed out the City Council Summary memo in the packet and there were no questions from the Commission.

7. GENERAL PLAN UPDATE/DEVELOPMENT CODE UPDATE

Planning Manager Pirnejad stated that the General Plan Alternatives will be going to a Special Workshop on May 10th and will be held at Hutchins Street Square at 10:00 am.

- c. Development Code Update Summary Report.
 - Planning Manager Pirnejad gave a brief PowerPoint presentation based on the staff report. The items being address are:
 - I. Wireless Communications
 - II. Residential Intensification
 - III. Freeway Commercial Overlay District
 - IV. Flag Lot Regulations
 - V. Compact Parking Stalls
 - VI. Downtown Parking Requirements
 - VII. Heritage Trees
 - VIII. Site Plan and Architectural Review
 - Commissioner Cummins asked which option for SPARC staff recommends. Planning Manager Pirnejad stated that staff recommends dividing the current duties.
 - Commissioner Kirsten asked what position staff is taking regarding flag lots. Planning Manager Pirnejad stated that some of what is being asked from the applicant isn't required. Having the guidelines in writing would be helpful in providing direction to the applicant and consistency for staff. Commissioner Kirsten would like to have language in the ordinance regarding alley access for these types of lots. He would also like to

Continued

address an in-law house being built and then someone splitting the lot later creating a non-conforming lot. Planning Manager Pirnejad stated that there is language in the current code regarding lot size, so a non-conforming lot can not be created.

- Commissioner Kirsten asked about the prevalence of the Mansionization issue. Planning Manager Pirnejad stated that it isn't very prevalent at this time. Discussion occurred regarding the various examples within the city limits.
- Commissioner Kirsten asked what kind of area needs to be rezoned so that there wouldn't be spot zoning along the Freeway Commercial Overlay District. Planning Manager Pirnejad stated that the Cherokee Lane corridor is the area that staff is looking at primarily.
- Vice Chair Kiser stated that along with SPARC he would like to see the Flag Lot guidelines focused on also.

8. ACTIONS OF THE SITE PLAN AND ARCHITECTURAL REVIEW COMMITTEE

- d. SPARC meeting on 4-21-08 summary report regarding major remodel of an existing restaurant at 514 West Kettleman Lane. (Applicant, Lance Crannell on behalf of McDonald's USA, LLC; File # 08-SP-01).

Vice Chair Kiser gave a brief report on the item above.

9. UPDATE ON COMMUNITY SEPARATOR/GREENBELT TASK FORCE

None

10. ART IN PUBLIC PLACES

Commissioner Kirsten gave a brief report on the meeting that occurred earlier today.

11. COMMENTS BY THE PUBLIC

None

12. COMMENTS BY STAFF AND COMMISSIONERS

Planning Manager Pirnejad stated that there will be some training for the Brown Act coming up in November.

13. ADJOURNMENT

There being no further business to come before the Planning Commission, the meeting was adjourned at 9:32 p.m.

ATTEST:

Peter Pirnejad
Planning Manager

Item 3a.

**LODI
PLANNING COMMISSION
Staff Report**

MEETING DATE: June 11, 2008

APPLICATION NO: Tentative Parcel Map 07-P-09

REQUEST: Request for a Tentative Parcel Map to divide one parcel into two at 14 South School Street. (Applicant: Baumbach and Piazza, Inc. on behalf of Matt Dobbins. File # 07-P-09).

LOCATION: 14 South School Street (APN: 043-036-19)

APPLICANT: Baumbach and Piazza, Inc., 323 W. Elm Street, Lodi, on behalf of Mr. Matt Dobbins

PROPERTY OWNER: Dobbins Properties, LLC.
14 South School Street
Lodi, CA 95241

RECOMMENDATION

Staff recommends that the Planning Commission approve the request of Baumbach and Piazza, Inc., on behalf of Matt Dobbins, to divide one parcel into two at 14 South School Street, subject to the conditions in the attached resolution.

PROJECT/AREA DESCRIPTION

General Plan Designation: DC, Downtown Commercial.

Zoning Designation: C-2, General Commercial.

Property Size: 4,000 square feet

The adjacent zoning and land use are as follows:

North: C-2, General Commercial.

South: C-2, General Commercial.

West: C-2, General Commercial.

East: C-2, General Commercial.

SUMMARY

The proposed tentative parcel map is located at 14 South School Street. The subject parcel has a width of 40', a depth of 100' and a lot area of 4,000 sq. ft. There is an existing two-story building with a full basement, which occupies the entire parcel. The first floor is commercial space and is divided into two business units. The second floor is a residence. The basement is used for recreation and storage by the residential unit. The applicant is proposing to create each floor as a separate legal parcel. The first floor would be a commercial parcel, while the second floor and would be a residence. The basement would belong to the commercial spaces. The first floor would measure 4,000 sq. ft. in area. The residential parcel would measure 4,000 sq. ft. in area. The

subject parcel is within the Downtown Parking District and, therefore, is eligible for a Zone B parking permit. Parcels within the Downtown Parking District are not required to provide on-site parking.

BACKGROUND

The property is located in downtown where the City is undertaking a study to create a workbook for Transit Oriented Development in Lodi. The intent of creating Transit Oriented Development is to provide transit oriented design guidelines that will encourage the creation of mixed-use development within and next to the existing commercial areas adjacent to public transit in Downtown Lodi. The mixture of housing, employment, retail, and services will generate human traffic and activity throughout the day, making the downtown area safer and increasing its economic viability.

In the fall of 2007, residents, developers, merchants, community members, and planners worked together in a community planning process to create design guidelines for transit-oriented development (TOD) around the Lodi Multi-Modal Transit Station. The goal of this project was to provide design direction for building and streetscape improvements along Sacramento Street adjacent to the Multi-Modal Transit Station, as well as to enhance uses in the Downtown district to make it more transit and pedestrian friendly. TOD focuses on the intersection of transportation and land use, a crucial connection in the transformation of existing areas into sustainable communities. TOD addresses environmental concerns by promoting alternate transportation modes, concentrating development in urbanized areas, discouraging greenfield development, and supporting healthy communities.

The proposed Tentative Parcel Map is a mixed use development consistent with the TOD vision. The project is located within walking distance of the multi-modal station, the parking structure, and is located in the center of Downtown Lodi. The proposed project suits the City's vision of creating a mixed-use residential and commercial area designed to maximize access to public transportation.

ANALYSIS

Staff believes that the proposed Tentative Parcel Map to create two legal parcels from a two-story building is a reasonable request that is consistent with the property's land use designations and the Subdivision Map Act. The proposed vertical tentative parcel map also fits with the City's long term goal of creating a mixed-use residential and commercial area designed to maximize access to transportation.

The subject property sits next to an alley to the north and is surrounded by buildings to the east and the south. The building is built to the property lines. Many of the buildings in the downtown area are two or more stories in height and are built to the property line. The subject parcel has a width of 40', a depth of 100' and a lot area of 4,000 sq. ft. Each floor measures 4,000 sq. ft. There is also a basement that measures 4,000 sq. ft in area. The first floor houses two commercial units that are currently vacant. Both spaces are approximately divided equally. Each unit has its own entry from School Street. The second floor has an entry door from the alley to the north. There is also an emergency exit on the alley. The basement is accessed from commercial floor. Each unit has access to the basement.

The applicant's proposal has been reviewed by various City Departments. The Fire and Electrical and Utility Departments recommended approval, subject to their comments on the attached resolution. The Fire department notes that the existing fire escape stairway meets the City standards. The Electrical Department indicated that it can extend services to the proposed parcels without any problems. Similarly, the Building and Community Improvement Divisions recommend approval, subject to the attached resolution.

The tentative parcel map has also been reviewed by the Public Works Department and the conditions of approval are incorporated into the attached resolution. The Public Works Department will require separate water services with meters for each parcel. They have given the applicant two options to achieve this goal. The first option is that all work related to water services be provided by a City crew at the owner's expense. As an alternative, the existing water service may be modified by the owner's plumbing contractor to provide dual water service conforming to City standards, but final inspection will have to be performed by City staff. In either option, the plumbing in the existing structure must be, if necessary, reconfigured to separate the individual water services, which would allow the City to provide separate wastewater bills for each parcel after the final parcel map has been filed. Any plumbing work will require a building permit.

The Planning Department notes that a private easement agreement will have to be recorded concurrent with final map recordation, subject to Community Development Department Director's review and approval. The private agreements and/or deed restrictions must provide appropriate easement rights for access and facilities serving each parcel, maintenance responsibilities, use of shared facilities, apportionment and payment of costs, insurance, architectural and construction controls, damage and destruction and management of shared private facilities, and other applicable conditions that may arise in the future.

Staff also notes that the proposed vertical parcel map is consistent with the City of Lodi General Plan and Zoning Ordinance. The request to subdivide the building into two legal parcels does not change the previous use of the property. The floor plan configuration, the lot coverage and design of the building will not be affected. The creation of the vertical legal parcels will allow the owner flexibility to operate the commercial and residential floor independent of each other. The current use is mixed-use type. However, this parcel map affords the owner and prospective renters (or owners) more flexibility. Furthermore, the requested vertical tentative parcel map provides a broader type of home ownership in the downtown area by allowing the sale of the residential unit without the commercial spaces. The proposed parcel map also breaks the ground for future mixed-use vertical parcel maps that will encourage homeownership in the downtown area.

Staff also notes the subject property falls within the Downtown Parking District and, therefore, is not required to provide on-site parking spaces. However, staff notes that the subject property is eligible for a Zone B parking permit. Zone B parking permits are extended to those within the Downtown Parking District who wish to secure a parking space in one of the City owned parking lots. Those permits may be purchased from the City of Lodi Finance Department. In conclusion, staff believes that the proposed Tentative Parcel Map, subject to the conditions in the attached resolution, meets the requirements of the Zoning Ordinance and is consistent with good planning practice and will be compatible with the neighborhood.

ENVIRONMENTAL ASSESSMENTS:

The project is found to be Categorically Exempt according to the California Environmental Quality Act, Article 19, Guidelines §15315, Class 15, "Minor Land Divisions." This exemption is for a project that consists of the division of property in urbanized areas zoned for residential, commercial, or industrial use into four or fewer parcels when the division is in conformance with the General Plan and zoning, no variances or exceptions are required, all services and access to the proposed parcels to local standards are available, the parcel was not involved in a division of a larger parcel within the previous 2 years, and the parcel does not have an average slope greater than 20 percent. This proposal meets all these conditions and, therefore, qualifies for the Categorical Exemption.

PUBLIC HEARING NOTICE:

Legal Notice for the Parcel Map was published on May 31, 2008. 40 public hearing notices were sent to all property owners of record within a 300-foot radius of the subject property as required by Government Code §65091 (a) 3.

ALTERNATIVE PLANNING COMMISSION ACTIONS:

- Approve the Request with Alternate Conditions
- Deny the Request
- Continue the Request

Respectfully Submitted,

Concur,

Immanuel Bereket
Junior Planner

Peter Pirnejad
Planning Manager

ATTACHMENTS:

1. Tentative Map
2. Draft Resolution

TENTATIVE PARCEL MAP
 PORTIONS OF LOTS 14 AND 15
 OF BLOCK 16 OF "CITY OF LODI"
 CITY OF LODI, SAN JOAQUIN COUNTY, CALIFORNIA

SEPTEMBER, 2007 SCALE: 1"=30'

APPLICANT:
 MOKELUMNE LAND AND DEVELOPMENT COMPANY
 CONTACT: MATT DOBBINS
 1260 STONEBRIDGE DRIVE
 LODI, CALIFORNIA 95242

OWNER:
 THOMAS AND BRODIE SISNEROS
 14 SOUTH SCHOOL STREET
 LODI, CALIFORNIA 95240

MAP PREPARED BY:
 BAUMBACH AND PIAZZA, INC.
 323 WEST ELM STREET
 LODI, CALIFORNIA
 (209) 368-6618

PROJECT DESCRIPTION:
 CREATE TWO PARCELS FROM ONE EXISTING
 PARCEL.

UTILITIES AND FACILITIES:
 WATER-CITY OF LODI; SEWAGE-CITY OF LODI;
 STORM DRAINAGE-CITY OF LODI; ELECTRICITY-
 CITY OF LODI; GAS-PG&E; TELEPHONE-AT&T

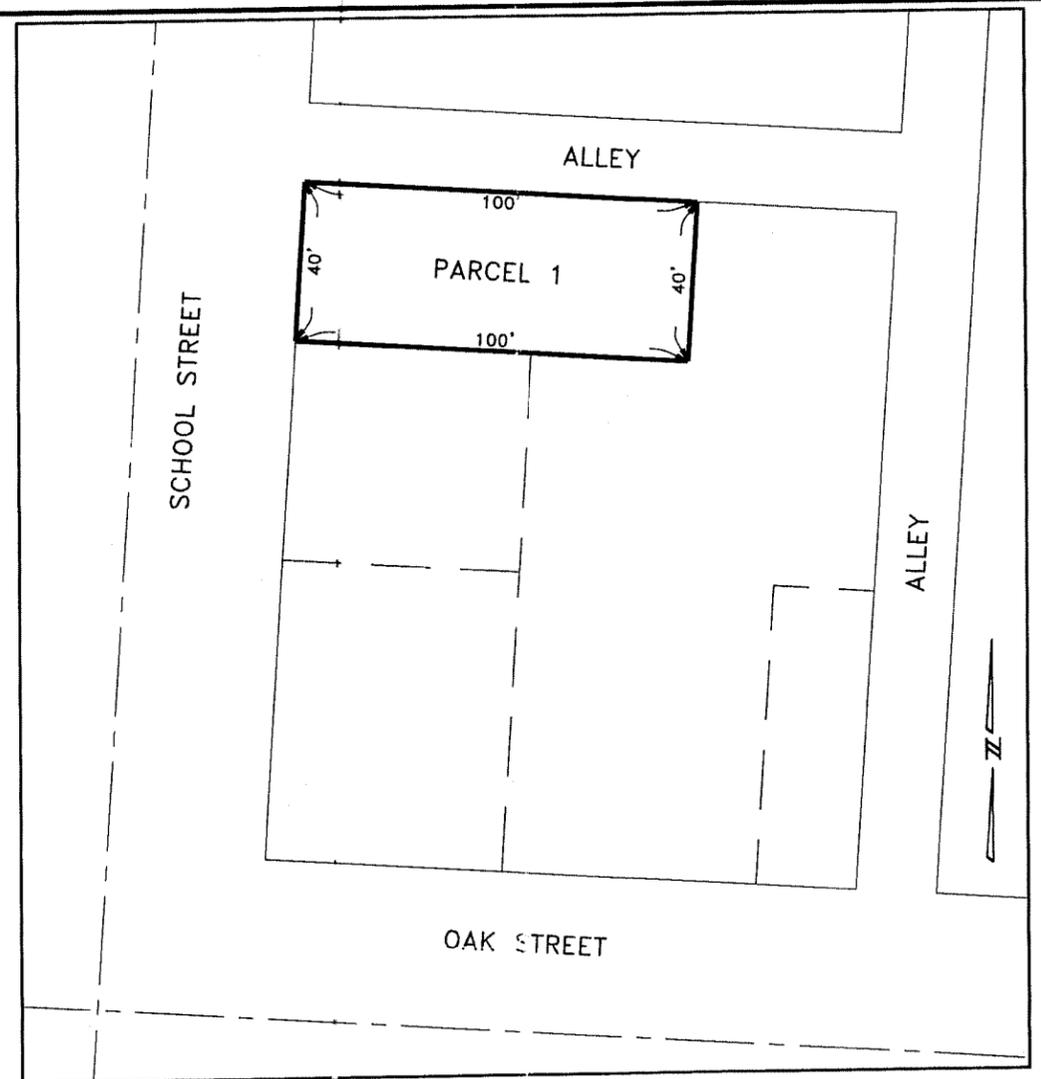
FLOOD INFORMATION:
 NOT SUBJECT TO 100 YEAR FLOOD.

ASSESSOR PARCEL NUMBER:
 043-036-19

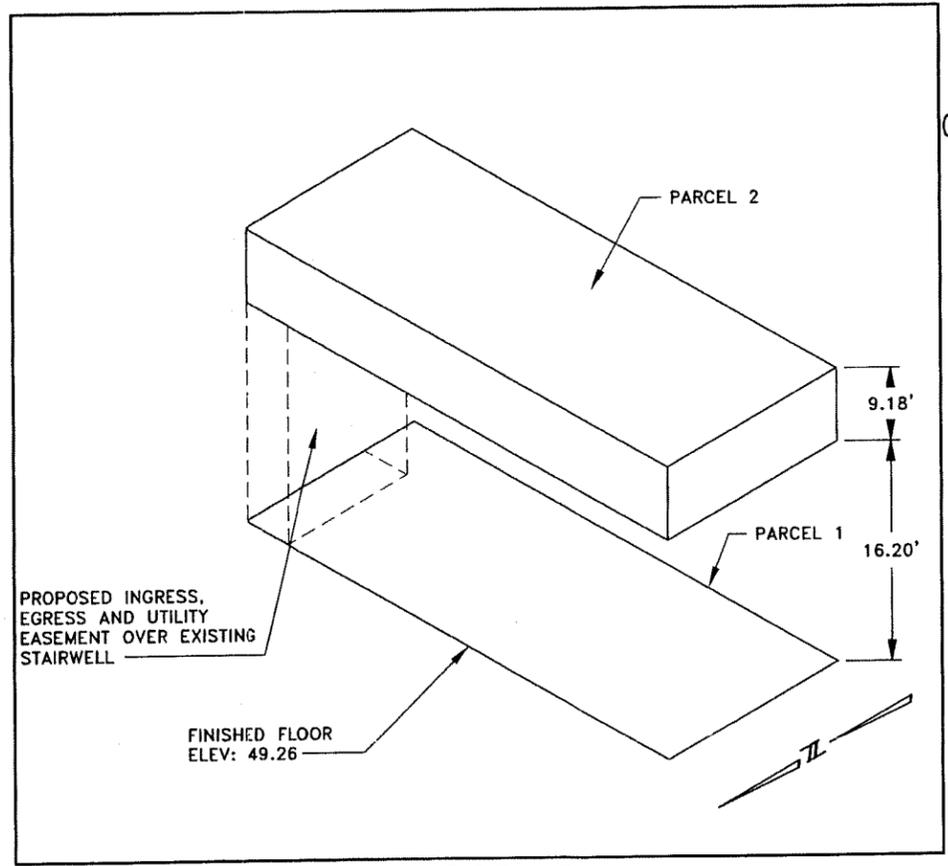
SITUS ADDRESS:
 14 SOUTH SCHOOL STREET
 LODI, CALIFORNIA 95240

ZONING:
 C2 - GENERAL COMMERCIAL

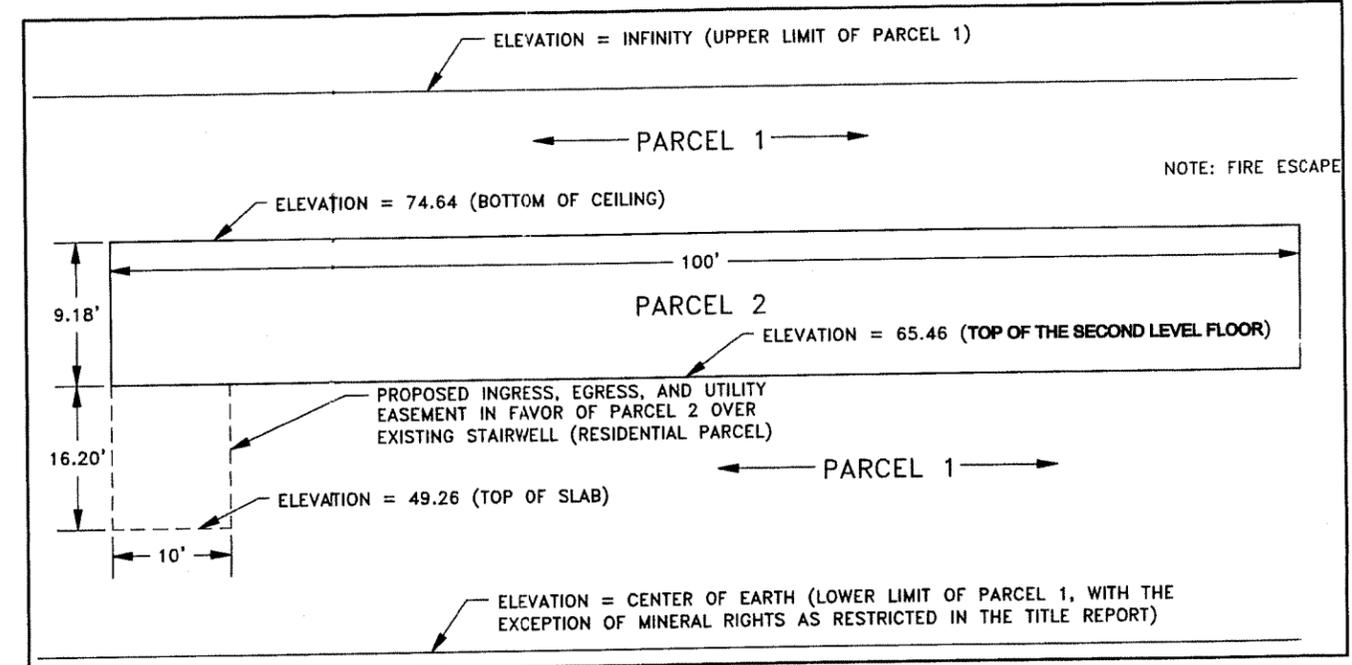
GENERAL PLAN DESIGNATION:
 DOWNTOWN COMMERCIAL



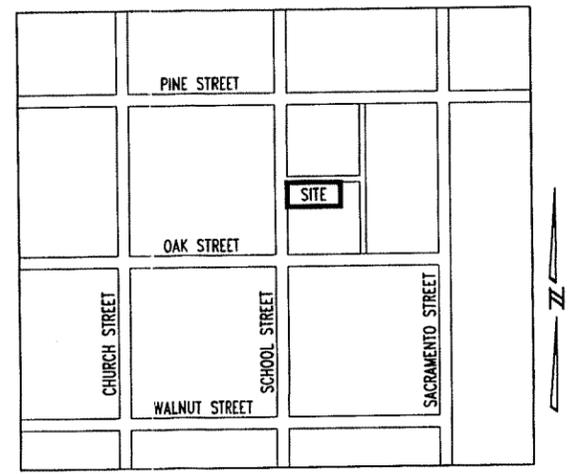
TENTATIVE MAP SCALE: 1"=30'



ISOMETRIC VIEW OF PARCEL 2 SCALE: NTS



SECTION: VERTICAL PROPERTY VIEW SCALE: NTS



VICINITY MAP SCALE: NTS

RESOLUTION NO. P.C. 08-10

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LODI APPROVING THE REQUEST OF BAUMBACH AND PIAZZA, INC., ON BEHALF OF MATT DOBBINS, FOR A TENTATIVE PARCEL MAP TO DIVIDE ONE PARCEL INTO TWO AT 14 SOUTH SCHOOL STREET. (FILE # 07-P-09)

WHEREAS, the Planning Commission of the City of Lodi has heretofore held a duly noticed public hearing, as required by law, on the requested Tentative Parcel Map pursuant to the Lodi Municipal Code Chapter 16.08 and the Subdivision Map Act; and

WHEREAS, the property is located at 14 South School Street (APN: 043-036-19); and

WHEREAS, the project proponent is Baumbach and Piazza, Inc., on behalf of Mr. Matt Dobbins, 323 West Elm Street., Lodi, CA, 95240; and

WHEREAS, the property owner is Matt Dobbins, 14 South School Street, Lodi, CA 95241; and

WHEREAS, the property is zoned C-2, General Commercial and has a General Plan Designation of GC, General Commercial; and

WHEREAS, the property is located within the Downtown Parking District; and

WHEREAS, all legal prerequisites to the approval of this request have occurred; and

Based upon the evidence in the staff report and project file, the Planning Commission makes the following findings:

1. The project is found to be Categorically Exempt according to the California Environmental Quality Act, Article 19, Guidelines §15315, Class 15, "Minor land division." No significant impacts are anticipated and no mitigation measures have been required.
2. The proposed Tentative Parcel Map is consistent with the City's General Plan and Zoning Ordinance and is conditioned to conform to the standards and improvements mandated by the City of Lodi's Public Works Department Standards and Specifications.
3. The size, shape and topography of the site is physically suitable for the proposed residential development in that the site is generally flat with no unusual or extraordinary topographic features.
4. The site is suitable for the proposed second story residential loft.
5. The proposed Tentative Parcel Map does not conflict with easements, acquired by the public at large, for access through or use of property within the proposed map.
6. The proposed Tentative Parcel Map can be served by all public utilities.
7. The Tentative Parcel Map complies with the requirements of Chapter 16.08 of the Lodi Municipal Code regulating Tentative Maps.
8. None of the mandatory findings for tentative map denial within the State Subdivision Map Act, § 66474 apply to this proposal.

NOW, THEREFORE, BE IT DETERMINED AND RESOLVED by the Planning Commission of the City of Lodi that Tentative Parcel Map 07-P-09 is hereby approved, subject to the following conditions:

Community Development Department, Planning:

1. The property owner will defend, indemnify, and hold the City, its agents, officers, and employees harmless of any claim, action, or proceeding to attack, set aside, void, or annul this Parcel Map, so long as the City promptly notifies the developer of any claim, action, or proceedings, and the City cooperates fully in defense of the action or proceedings.

2. The Tentative Parcel Map shall expire within 24 months of Planning Commission approval or a time extension must be granted by the Planning Commission.
3. The Final Map shall be in substantial conformance to the approved Tentative Parcel Map, as conditioned, and that any future development shall be consistent with applicable sections of the Municipal Code.
4. Any building improvements, additions, or exterior remodeling shall be subject to setback, lot coverage, parking and all other zoning code requirements as required by the Lodi Municipal Code.
5. To the extent feasible, the architecture and façade change in the future shall be subject to Downtown Design Guidelines and shall be compatible with the architecture and color pattern of the surrounding neighborhood and shall be reviewed by staff as part of the building permit.
6. Applicable agreements, easements and/or deed restrictions for access, use and maintenance of shared, private facilities shall be subject to Community Development Department approval. Specifically,
 - a. The applicant shall provide a copy of the recorded access easement and maintenance agreement to serve both parcels.
 - b. The access and easement agreement shall be recorded concurrently with final map recordation

Community Development Department, Building:

7. A building permit is required for any plumbing work and the appropriate submittal documents prepared by a registered engineer or licensed architect shall be submitted to the Community Development Department for complete review and approval.

Public Works Department, Engineering:

The following conditions of approval are required for the subject project per City codes and standards, all to be accomplished prior to, or concurrent with, final parcel map filing unless noted otherwise:

8. Our field review indicates that the existing parcel is served by a 1-inch water service with 1-inch meter and a 4-inch wastewater service.
 - a. Separate water services shall be required for each parcel. An additional 1-inch water service with water meter shall be provided by City crews at the owners expense. As an alternative, the existing water service may be modified by the owner's plumbing contractor to provide dual water services conforming to Standard Plan 410. Water meters shall be purchased from the City. The plumbing in the existing structure shall be reconfigured, if necessary, to separate the individual water services. A plumbing permit issued by the City of Lodi Building Division is required for this work. Public Works staff will review the plans submitted with the plumbing permit application to determine if Double Check Valve Assemblies conforming to Standard Plan 411 need to be installed on each water service.
 - b. The existing 4-inch wastewater service may be used to serve both proposed parcels. Separate wastewater bills will be provided for each parcel after the final parcel map has been filed.
9. In order to assist the City of Lodi in providing an adequate water supply, the Owner/Developer on behalf of itself, its successors and assigns, shall enter into an agreement with the City that the City of Lodi be appointed as its agent for the exercise of any and all overlying water rights appurtenant to the parcels, and that the City may charge fees for the delivery of such water in accordance with City rate policies. In addition, the agreement shall assign all appropriative or prescriptive rights to the City. The agreement will establish conditions and covenants running with the land for all parcels within the boundaries of the parcel map and provide deed provisions to be included in each conveyance.
10. Provide segregation of assessments for all parcels included in the City of Lodi Central City Revitalization Assessment District No. 95-1. The Amended Assessment Diagram shall be submitted to the Public Works Department for review and approval prior to recording.

11. Submit final parcel map per City and County requirements including the following:
 - a. Preliminary title report.
 - b. Standard note regarding requirements to be met at subsequent date.
 - c. Parcel map guarantee.
12. The applicant shall make a payment for filing and processing fees and charges for services performed by City forces per the Public Works Fee and Service Charge Schedule.

Electric Utilities Department:

13. The project proponent shall prepare easement documents and shall provide a copy to the Electric Engineering Division of the Lodi Electric Utility Department.
14. A P.U.E. is required for all on-site existing and/or future primary facilities. The applicant shall contact the Electric Utility Department for required P.U.E. locations and Electric Service requirements.
15. The project proponent shall pay for Electric Utility Department charges in accordance with the Electric Department's Rules and Regulations.

Dated: June 11, 2008.

I hereby certify that Resolution No. 08-10 was passed and adopted by the Planning Commission of the City of Lodi at a regular meeting held on June 11, 2008., by the following vote:

AYES: Commissioners:

NOES: Commissioners:

ABSTAIN: Commissioners:

ATTEST: _____
Secretary, Planning Commission

Item 3b.

**CITY OF LODI
PLANNING COMMISSION
Staff Report**

MEETING DATE: June 11, 2008

APPLICATION NO: Development Plan Review 06-GM-02

REQUEST: Request for Planning Commission to consider the request of Kathleen Haring for development plan review to construct 6 dwelling units at 1911 South Church Street. (Applicant: Kathy Haring. File Number 06-GM-02).

LOCATION: 1911 South Church Street, Lodi.
APN 031-040-42

APPLICANT: Brett and Kathleen Haring
552 Kirst Drive
Woodbridge, CA 95258

PROPERTY OWNER: The same as above.

RECOMMENDATION

Staff recommends that the Planning Commission approve the request of Kathleen Haring for development plan review to construct 6 detached residential condominium units at 1911 South Church Street, subject to the conditions in the attached resolution.

SUMMARY

The proposed project would permit the construction of 6 detached residential condominium units on 0.35 acres on the west side of South Church Street, one block north of Century Boulevard, at 1911 South Church Street. Prior to constructing the project, the applicant must secure an approved development plan as part of the City's Growth Management process. The development plan review is a part of the City's Growth Management process. The applicant applied and was approved for Growth Management allocations that would permit the construction of up to 7 residential condominium units. The property is currently a vacant lot. Previously there was an older single-family residence on the property.

PROJECT/AREA DESCRIPTION

General Plan Designation MDR, Medium Density Residential

Zoning Designation R-MD, Residential, Medium Density

Project Size 0.35 acres

The adjacent zoning designations and land uses are as follows:

North: R-MD, Residential-Medium Density and PD, Planned Development. The area to the north of the project has a mixture of older single-family residences, duplexes and apartment buildings in a range of sizes.

South: PD, Planned Development. South of the project site are a mixture of duplexes and apartment units. South of Century Blvd. are single-family residences.

West: R-MD, Residential-Medium Density. West of the project site are apartments and the Twin Arbors health club.

East: R-MD, Residential-Medium Density and PD. East of the project site are a mixture of single-family residences, duplexes and apartments. There is also a small neighborhood park located on a dead-end section of Century Blvd., east of Church Street.

BACKGROUND

Prior to the approval of the project, a development plan must be reviewed and approved by the Planning Commission. Once approved, the project site must be developed in accordance with the approved development plan. In accordance with the Growth Management allocation provisions, the Planning Department originally received seven separate residential growth management applications for 2006. Mrs. Haring's project was one of the seven applications submitted in June of 2006. The applicant's allocation request was for medium density growth management allocation units.

The project application was originally submitted as a 6-unit residential project, with 3 duplex buildings arranged in a U-shape. The buildings all faced onto a central driveway that opened out on Church Street. The units were two-story townhouses with attached two car garages. On January 2007, the applicant submitted a revised site plan that added a 7th unit. The site plan was significantly revised from the original site plan. This revised site plan was presented to the Planning Commission as part of the Growth Management allocation application.

On June 26, 2007, the applicant's request for 7 medium density growth management allocation units was reviewed by the Planning Commission. At that hearing, staff noted that 7 units could pose development challenges and that prior to final approval of an actual construction permit, the applicant is required to submit a final development plan that details all the required components of the project with exact dimensions, architectural details and landscape plans and such plans must be reviewed and approved by the Planning Commission. Staff further noted that any plan the applicant submits must meet all requirements of the zoning ordinance, including setbacks, parking area dimensions, lot coverage, etc. If any plan the applicant submits can not comply with specific zoning requirements, the applicant may need to apply for an Administrative Deviation or Variance depending on the exceptions required. After considering staff's reservations of the site plan as submitted, the Planning Commission deliberated and approved the allocation request. The applicant's request was forwarded to the City Council which approved the request on August 1, 2007.

ANALYSIS

Neighborhood and Site Characteristics

The project site consists of a single 0.35 acre parcel on the west side of South Church Street, one block north of Century Boulevard. The area surrounding the project site is fully developed with a variety of single and multi-family residences. Some of the older residences are probably more than 60 years old. Most of the multiple-family developments were constructed in the last 30 years and are a mix of different types of residential uses. Because of this, there is not a consistent front setback in the immediate area of the proposed project.

The project site was previously developed with a single-family home. The house has been removed and the property is currently vacant. The surrounding uses are consistent with the type of development proposed by the applicant.

No Zone Change Required

The proposed development plan will not require any zoning change. The property is zoned R-MD, residential-medium density. The project is consistent with the existing General Plan designation of MDR (Medium Density Residential) and the proposed density of 18-units per acre is within the MDR density range of 7.1-20 dwelling units per acre. Thus, development plan review would require no change in zoning or General Plan designations.

Discussion of Proposed Development Plan

Prior to the approval of the project, a development plan must be reviewed and approved by the Planning Commission. Once approved, the project site must be developed in accordance with the approved development plan. The applicant has submitted a final development plan depicting the proposed layout and design for the 6 detached residential condominium units. The development plan submitted details the required components of the project with exact dimensions; architectural details and landscape plans; zoning requirements including setbacks; parking area dimensions; lot coverage; etc.

The development plan shows 6 detached two-story residential condominium units distributed throughout the property. Each unit will have 936 square feet of living space on two floors with an adjacent carport providing two covered parking spaces per unit. Access to the property will be from a two-way driveway from Church Street connected to a central driveway, which will serve all six-units. The driveway is centrally located to serve all 12 parking spaces. Per City standards, the proposed driveway is 24' wide and will be made of permeable pavers, which present a solid surface for vehicle traffic but allow some natural drainage and migration of water into the earth by permitting water to infiltrate through the spaces between the pavers.

The 6 detached residential condominium units will all have identical floor plans and exterior elevations. All six units will have their primary entrance facing the common driveway. Units 1 and 6 will abut Church Street and Units 2, 3, 4 and 5 will be located in the interior of the parcel. A centrally located common driveway and parking area will separate the units. Each unit will have a front porch and entrance facing the main driveway. There will be a raised curb around each residential unit to protect the structure from vehicular traffic. Each unit will have its own trash receptacle and each unit will have to place their trash receptacle out on the street for picked up.

Staff is of the understanding that these units are pre-manufactured off-site, trucked to the site in pieces and will be assembled onsite once the proper foundation is built. Each unit has a two-bedroom, 1½ bathes and each unit stands two stories in height. A kitchen, dining area and a half-bath will be located on the first floor. Two bedrooms, a full bathroom, and closets will be located on the second floor. The total space of each unit will measure 936 square foot in area. A total of 12 parking stalls are provided, two spaces for each unit.

The proposed development plan meets side and rear yard setbacks and lot coverage requirements except the front yard setback. The front yard setback will be 18-feet instead of the normally required 20' front yard setback. Staff has granted an Administrative Deviations to permit the two-foot reduction in the front yard setback. Because there is not a consistent front setback along Church Street in the immediate area of the proposed project, staff is of the opinion that reduction of the front yard setback by 2' will not significantly alter the appearance of the street. Based on this, staff

has granted an Administrative Deviation to allow the 18-foot front yard setback for the two units that face Church Street.

The applicant has submitted a landscaping plan along with the development plan. City of Lodi landscape standards require applicants to provide one tree for every four parking stalls. The proposed landscape plan calls for 8 large trees, numerous shrubs and ground covers. The plan preserves an existing tree located on the northeast corner of the property. The frontage adjacent to Church Street is heavily landscaped. Landscaping is also provided in front of each unit. The applicant will be required to submit a landscaping and irrigation system plan to the Community Development Department for review and approval.

Because the proposed project consists of six detached dwelling units on one parcel, in order for the developer to sell the individual units, the developer will be required to prepare and record a residential condominium parcel map. The creation of said map has its own process that is separate from the development plan review. At this time the applicant has not submitted an application for a residential condominium map and therefore the approval of this development plan only permits six units on the parcel for the purpose of lease. The applicant's desire at this point is to fully utilize the property and to provide affordable for rental housing units. The applicant may, at a later date, pursue a residential condominium parcel map for the project which will have no bearing on the approval of this development plan.

ENVIRONMENTAL ASSESMENT

The project qualifies for a CEQA Categorical Exemption, Guidelines Section 15332, In-Fill Development Project, Class 32. The project is consistent with the General Plan, is located in the City limits, is less than 5-acres in size and is surrounded by existing urban development. The project site is not a habitat for any rare or endangered species of plant or wildlife, and the project will not create a significant environmental impact.

PUBLIC HEARING NOTICE

A legal notice for the Growth Management Allocation Application was published on May 31, 2008 in the Lodi News Sentinel. 25 public hearing notices were sent to all property owners of record within a 300-foot radius of the subject property.

ALTERNATIVE PLANNING COMMISSION ACTIONS

- Recommend Approval of the Request with Alternate Conditions
- Recommend Denial of the Request
- Continue the Request

Respectfully Submitted,

Concurred by:

Immanuel Bereket
Junior Planer

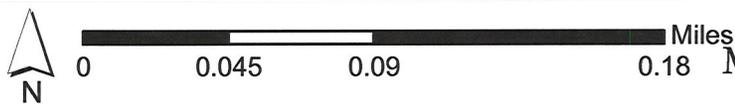
Peter Pirnejad
Planning Manager

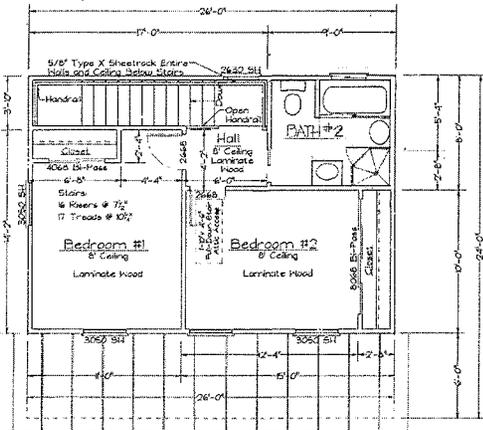
Attachments:

1. Vicinity Map
2. Site Plan
4. Draft Resolution P.C. 08-11

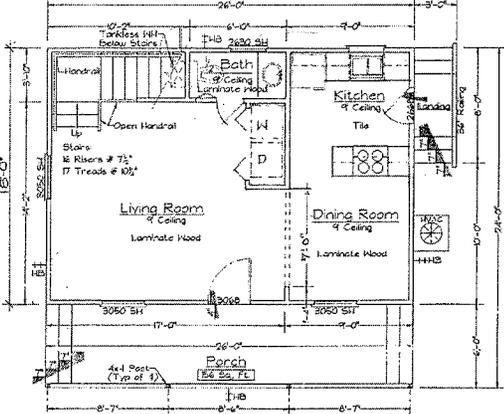
pp/dm/ib/kjc

Vicinity Map

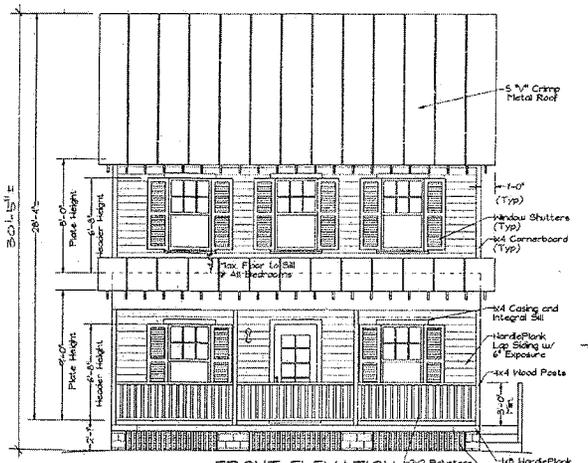




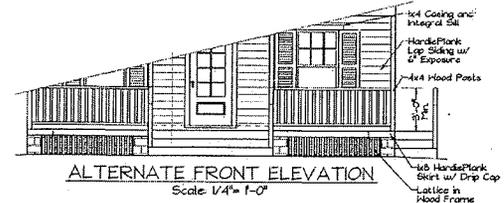
SECOND FLOOR PLAN 468 SQ. FT.
Scale: 1/4" = 1'-0"



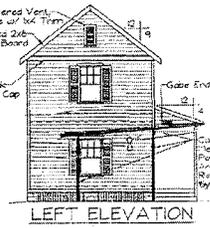
FIRST FLOOR PLAN 468 SQ. FT.
Scale: 1/4" = 1'-0"



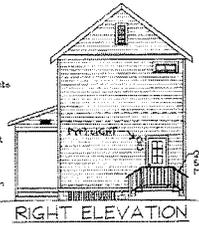
FRONT ELEVATION
Scale: 1/4" = 1'-0"



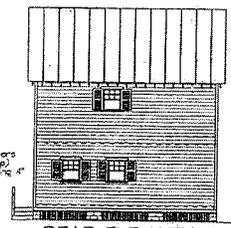
ALTERNATE FRONT ELEVATION
Scale: 1/4" = 1'-0"



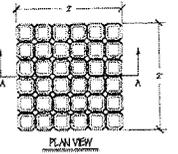
LEFT ELEVATION



RIGHT ELEVATION



REAR ELEVATION
Scale: 1/8" = 1'-0"



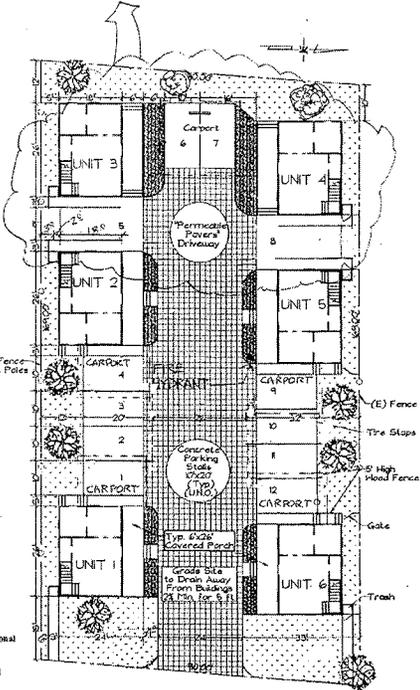
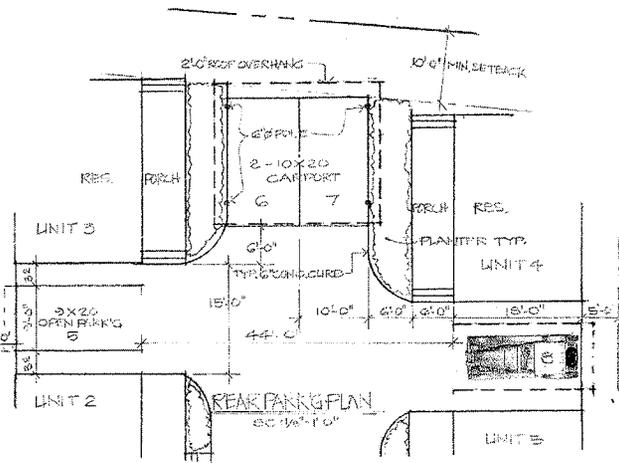
PLAN VIEW

AREAS

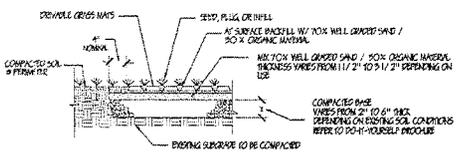
First Floor	468 Sq. Ft.
Second Floor	468 Sq. Ft.
Covered Porch	156 Sq. Ft.
Total Covered Area	1092 Sq. Ft.

OWNER
Brett & Kathleen Haring
1111 S. Church St.
Lodi, CA 95240
Phone: (209) 676-0705

- 2007 CALIFORNIA CODE ADOPTION**
- Building: 2007 California Building Code based on the 2006 International Building Code.
 - Electrical: 2007 California Electrical Code based on the 2005 National Electrical Code.
 - Plumbing: 2007 California Plumbing Code based on the 2006 Uniform Plumbing Code.
 - Mechanical: 2007 California Mechanical Code based on the 2006 Uniform Mechanical Code.
 - Fire: 2007 California Fire Code based on the 2006 International Fire Code.



1111 S. CHURCH ST.
SITE PLAN
Scale: 1/16" = 1'-0"
APN 062-492-01



SECTION A-A
TYPICAL LIGHT TRAFFIC PENNABLE GRASS DETAIL
Scale: 1" = 1'



NOTE
FOR SLOTTED MANAGEMENT APPLICATIONS INCLUDING SODDING AND MULCHING, A 2000 PSI, 1/2" DIA. WOOD, AND DRAINAGE MAY BE REQUIRED

NO.	REVISIONS	DATE

LINE 2 DESIGN
Consult - Plan - Draft - Submit
David Mirafior, CBI
COMMERCIAL & RESIDENTIAL
150 SAN JOAQUIN STREET, CA 95240

A New Housing Complex for
BRETT & KATHLEEN HARING
1111 S. CHURCH ST.
LODI, CA 95240

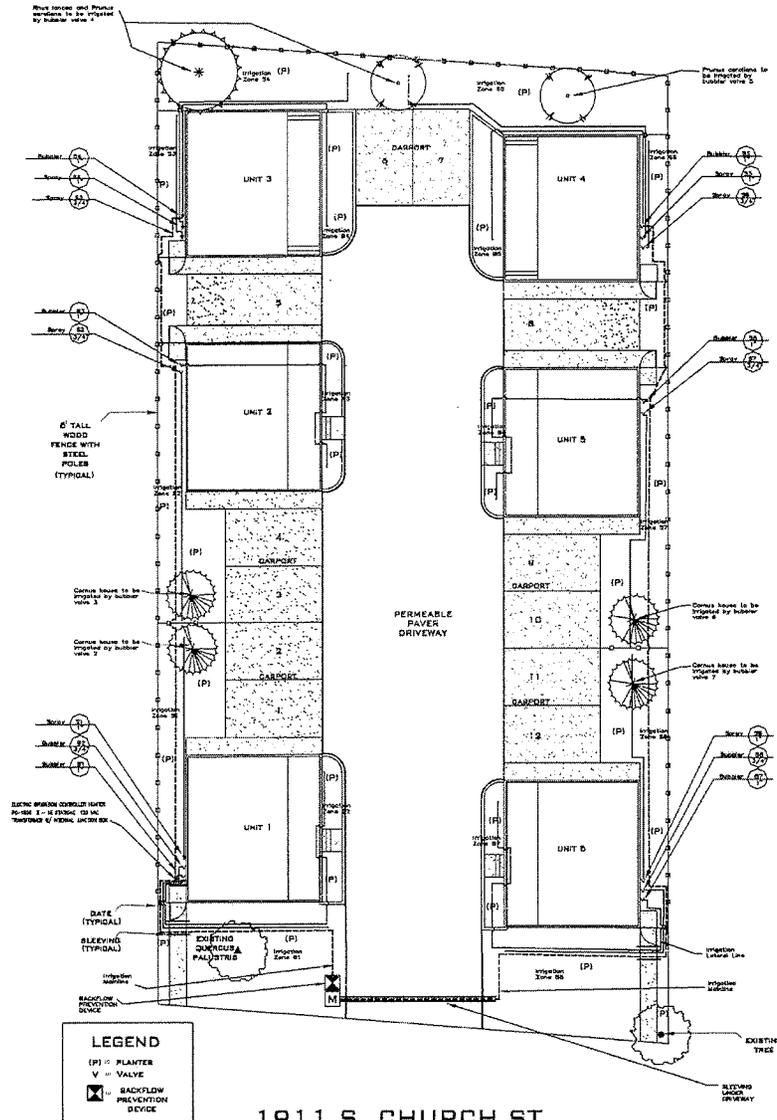
DRAWN	D L H
CHECKED	
DATE	11-28-07
SHEET	AS SHOWN
JOB NO.	06-07
STREET	
1	
SHEET	



REVISIONS	DATE

IRRIGATION PLAN
COTTAGES ON CHURCH
 1911 S. CHURCH ST.
 LODI, CALIFORNIA

DATE	FEB. 20, 2008
DRAWN BY	CLB
SCALE	1" = 10'-0"
SHEET NUMBER	4



LEGEND

- ELECTRIC IRRIGATION OUTDOOR CONTROLLER
HUNTER PC-1500 3 - 15 STATIONS 120 VAC
TRANSFORMER W/ INTERNAL JUNCTION BOX
- WATER METER
- BACKFLOW PREVENTION DEVICE
INSTALL IMMEDIATELY DOWN-
STREAM OF WATER METER
- HUNTER PGV SPRAY VALVE
- HUNTER PGV BUBBLER VALVE
- MAINLINE
- SLEEVING
- LATERAL LINE

LEGEND

- (P) = PLANTER
- (V) = VALVE
- BACKFLOW PREVENTION DEVICE

PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
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TREES

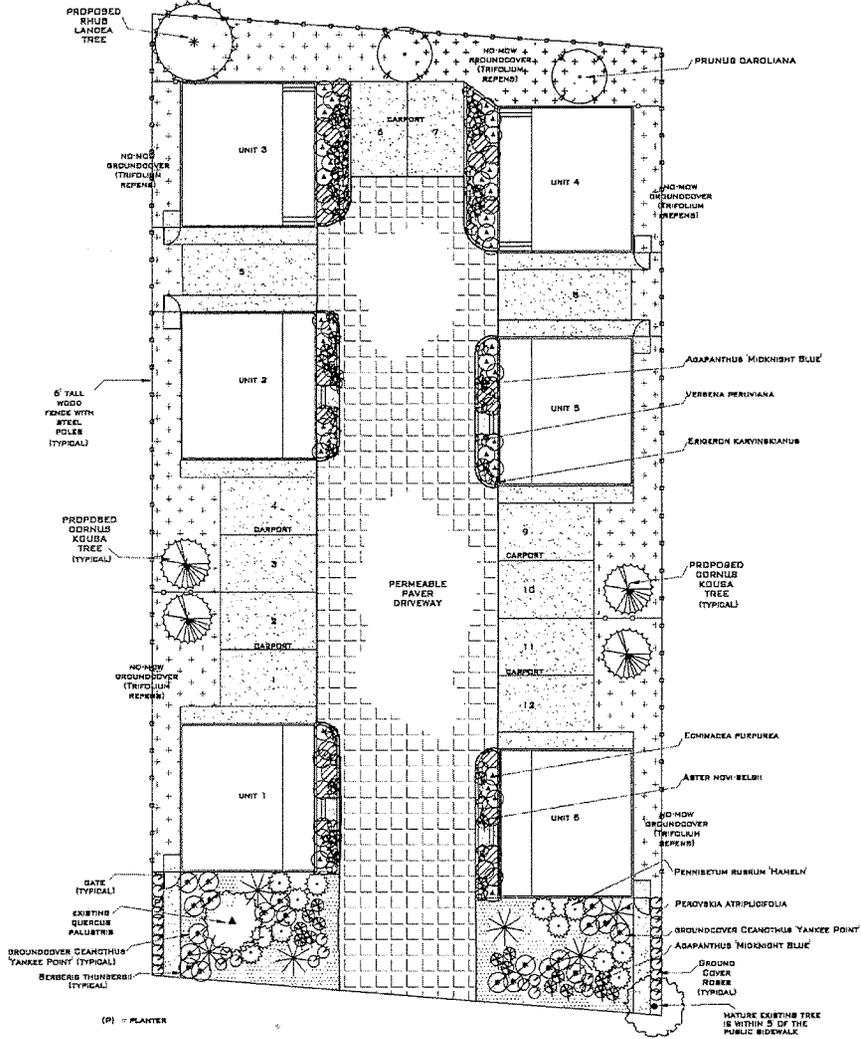
	<i>Cornus lasiocarpa</i>	Dogwood	10 Gal
	<i>Prunus caroliniana</i>	Cherry Laurel	10 Gal
	<i>Rhus typhina</i>	African Sumac	10 Gal

SHRUBS & VINES

	<i>Berberis thunbergii</i>	Japanese Barberry	1 Gal
	<i>Ceanothus leucanthus</i> hybrid	California Lilac	1 Gal
	Rosa hybrid	garden rose	1 Gal

PERENNIALS, ORNAMENTAL GRASSES & GROUND COVERS

	<i>Agapanthus</i> Midnight Blue	Lily of the Nile hybrid	1 Gal
	<i>Aster</i> New Belch	New England Aster	1 Gal
	<i>Echinacea</i> purpurea	Purple Coneflower	1 Gal
	<i>Erigeron</i> lanolinus	Santa Barbara Daisy	1 Gal
	<i>Panicum</i> adrianum 'Haven'	Purple Fountain Grass	1 Gal
	<i>Pennisetum</i> styriacum	Roman Sage	1 Gal
	<i>Verbena</i> peruviana	Verbena	1 Gal



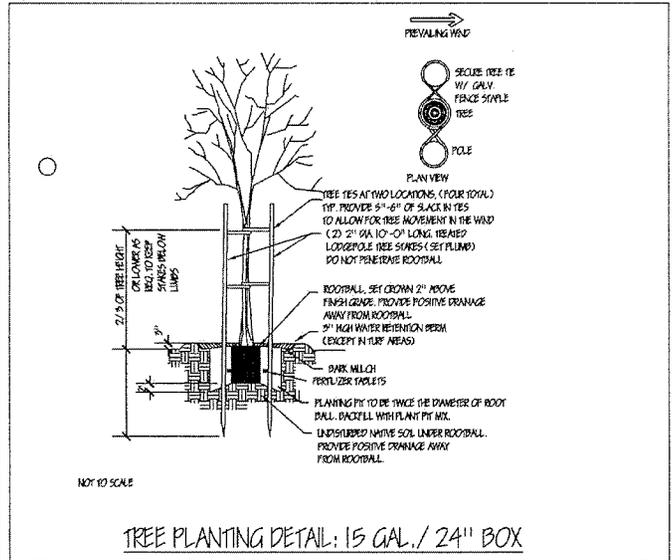
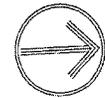
1911 S. CHURCH ST.



REVISIONS	DATE

PLANTING PLAN
COTTAGES ON CHURCH
1911 S. CHURCH ST.
LODI, CALIFORNIA

DATE	7/28/18, 2008
DRAWN BY	DAS
SCALE	1" = 10'-0"
SHEET NUMBER	2



RESOLUTION NO. P.C. 08-11

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LODI APPROVAL OF THE REQUEST OF BRETT AND KATHY HARING FOR A 6 MEDIUM DENSITY RESIDENTIAL DEVELOPMENT PLAN AT 1911 SOUTH CHURCH STREET
(Applicant: Kathy Haring. File Number 06-GM-02).**

- WHEREAS,** the Planning Commission of the City of Lodi has held a duly noticed public hearing, as required by law, on the requested Growth Management Development Plan as required by Lodi Municipal Code Chapter 15.34; and
- WHEREAS,** the property is located at 1911 South Church Street (APN: 031-040-42); and
- WHEREAS,** the project proponent and property owners are Brett and Kathy Haring, 1553 Kirst Drive, Woodbridge, CA, 95258; and
- WHEREAS,** the property has a General Plan designation of MDR-Medium Density Residential and is zoned R-MD, Residential-Medium Density; and
- WHEREAS,** the request is for approval of a development plan to construct 6 detached residential dwellings; and
- WHEREAS,** the property is currently vacant and the proposed project is considered an in-fill project; and
- WHEREAS,** the Planning Commission has considered the application, the staff reports, oral and written, the General Plan and zoning on the subject property, the testimony, written comments, and other materials presented at the public hearing; and
- WHEREAS,** all legal prerequisites to the approval of this request have occurred; and

Based upon the staff report, project file and comments at the public hearing, the Planning Commission makes the following findings:

1. The project is found to be categorically exempt according to the standard exemption of California Environmental Quality Act Guidelines (CEQA) Section 15332, Class 32. – In-Fill Development Projects. The project is consistent with the general plan and zoning, is less than 5-acres in size, is within the City and surrounded by development, there is no habitat value, approval of the project will not result in significant effects relating to traffic, noise, air quality, or water quality, and the project will be adequately served by all required utilities and public services. The project is exempt from further review under CEQA. No significant impacts are anticipated and no mitigation measures have been required.
2. The proposed design and improvement of the site will be designed to be consistent with all applicable standards adopted by the City in that the project, as conditioned shall conform to the standards and improvements mandated by the City of Lodi Public Works Department Standards and Specifications, and Zoning Ordinance.
3. The standard size, shape and topography of the site are physically suitable for a medium density residential development in that the site is generally flat and has no unusual or extraordinary topographic features.
4. The proposed density of 18 dwelling units per acre is consistent with the General Plan Land Use and Growth Management Elements that limits the density of the project site to a maximum of 20 dwelling units per acre.
5. The project is compatible with surrounding developments, zoning and land uses.
6. The proposed development plan can be served by all public utilities.

7. The Development Plan complies with the requirements of Section 15.34.070 of the Growth Management Plan for Residential Development Ordinance.
8. The proposed use will not be detrimental to the health, safety or general welfare of persons residing or working in the neighborhood or be detrimental or injurious to the health, safety, peace or general welfare of the City.

NOW, THEREFORE, BE IT DETERMINED AND RESOLVED by the Planning Commission of the City of Lodi that the Development Plan Review 06-GM-02 is hereby approved, subject to the following conditions:

Community Development Department, Planning:

1. The project proponent will defend, indemnify, and hold the City, its agents, officers, and employees harmless of any claim, action, or proceeding to attack, set aside, void, or annul this permit, so long as the City promptly notifies the developer of any claim, action, or proceedings, and the City cooperates fully in defense of the action or proceedings.
2. The project proponent shall submit appropriate plans to the Community Development Department for plan check and building permit. The final plans shall include the architectural features such as the approved colors, the building elevations including elements approved by the Planning Commission. Any significant alteration to the site plan or building elevations (see attached) as approved by the Planning Commission shall require approval by the Planning Commission. Minor changes may be approved subject to review and approval of the Community Development Department.
3. The project proponent shall submit a landscaping and irrigation system plan to the Community Development Department for review and approval. Landscaping materials indicated on the conceptual landscape and irrigation plan may be changed per the approval of the Community Development Director but cannot be reduced in amount. Landscape plan shall have ground level plants only within 3 feet of fire protection features and shall not obscure visual identification or building address.
4. At the owner's expense, the owner of the premises shall paint the curbs red and/or paint the edges of the shared driveway red to a width of four inches, upon which is closely marked the words "Fire Lane" in white letters four inches in height and have a three-fourths-inch stroke, at intervals of not less than fifty feet.
5. The parking lot layout shall be constructed to conform to the City of Lodi Standard Plan 134. The applicant shall provide identification signs for parking space(s) including the "tow-away" sign at each entrance or visible from each space (C.C.R., Title 24).
6. Prior to placement of any fencing, a fencing plan shall be submitted for review and approval by the Community Development Department. Fencing shall not be oriented in a manner to block the shared driveway.
7. The project and use of the parcel shall comply with all applicable requirements of the Lodi Municipal Code and applicable Development Standards.
8. Exterior building mounted light fixtures shall ensure that light does not spill onto adjacent properties. The project proponent shall submit building mounted light fixtures plan to the Community Development Department for review and approval.
9. The parcel shall be developed, maintained and operated in full compliance with the conditions of the Planning Commission approval and any law, statute, ordinance or other regulation applicable to any development or activity on the subject property. Failure to comply with the Planning Commission conditions of approval in full compliance shall be a violation of these conditions.
10. The project shall comply with the minimum building setbacks as required by the Lodi Municipal Code, except front yard setback, along Church Street, may be reduced to 18'.

11. Prior to the conducting of any site work, the project proponent, its successors, heirs, assigns or transferees, shall secure all necessary authorizations, approval and permits from the City of Lodi.

Community Development Department, Building:

12. A separate building permit shall be required for each proposed residential dwelling units. Any new construction and the appropriate submittal documents prepared by a registered engineer or licensed architect shall be submitted to the Community Development Department for complete review and approval.
13. All plan submittals shall clearly demonstrate complete compliance with the 2007 Edition of the California Building, Plumbing, Mechanical, Electrical, Fire and Energy Codes, and other State and local codes and/or ordinances.
14. Additional comments shall be provided after complete plan have been submitted for building permit.

Public Works Department, Engineering:

15. The project proponent shall submit engineering and preparation of improvement plans and estimate per City Public Improvement Design Standards for all public improvements prior to final map filing. Specifically, plans shall include:
 - a. Approved tentative condominium map, signed by the Community Development Director.
 - b. Engineering calculations for water, wastewater and storm drainage. The calculations submitted with the Development Plan are not sufficient. Storm drainage facilities design shall conform to the City of Lodi Storm Water Management Plan adopted by the City Council on March 5, 2003.
 - c. Current soils report. If the soils report was not issued within the past three (3) years, provide an updated soils report from a licensed geotechnical engineer.
 - d. Grading, drainage and erosion control plan.
 - e. All utilities, public and private, including street lights and electrical, gas, telephone and cable television facilities.
16. A complete plan check submittal package, including all the items listed in Condition Number 17 plus the Map/Improvement Plan Submittal cover letter, Improvement Plan Checklist and engineering plan check fees, shall required to initiate the Public Works Department plan review process for the engineered improvement plans.
17. Separate water and wastewater services shall be provided for each proposed residential unit.
 - a. The existing 1-inch water service shall be abandoned. The abandonment will be performed by City crews at the owner's expense.
 - b. An 8-inch public water main shall be extended from the 10-inch public water main in Church Street to the property line. An 8-inch by 6-inch by 4-inch Tee shall be installed and a 6-inch lateral extended northerly or southerly to serve a public fire hydrant to be installed at the back of sidewalk. No on-site fire hydrants are required. A 4-inch public water main shall be extended on-site through the common access area from the Tee to the landscaped area along the westerly property line to provide water services for each unit. A permanent blow-off conforming to Standard Plan 404 shall be installed at the end of the 4-inch water main. The 8-inch water service tap will be performed by City crews at the owner's expense. The owner's contractor shall expose the 10-inch water main in Church Street for City crews and will perform all other work required to install the public fire hydrant and extend the proposed public water main on site. Individual water services for each unit shall be provided from the new public water main in the common access easement.
 - c. The existing 4-inch wastewater service shall be abandoned and a minimum 6-inch private wastewater main shall be extended on-site from the 15-inch wastewater main in

Church Street to provide sewer services for each unit. The wastewater service abandonment will be performed by City crews at the owner's expense. The private wastewater main shall be installed in conformance with City design standards and specifications.

18. Storm drainage shall be collected on-site and discharged to the 18-inch public storm drain line in Church Street. On-site storm drainage facilities shall be private. Project design and construction shall be in compliance with applicable terms and conditions of the City's Storm water Management Plan (SMP) approved by the City Council on March 5, 2003, and shall employ the Best Management Practices (BMPs) identified in the SMP.
 - a. The City is in the process of adopting Development Design Standards for new projects in conformance with the conditions of the City's Storm water Discharge Permit. Building permits issued after the date of adoption of these Standards will be required to comply with the requirements of the Standards.
 - b. State-mandated construction site inspections to assure compliance with the City of Lodi Storm Discharge Permit are required. The fee for the inspections is the responsibility of the developer and must be paid prior to final map filing or commencement of construction operations, whichever occurs first.
19. Design and installation of public improvements shall be in accordance with City Design Standards and Standard Plans.
20. All public improvements shall be installed within one year of final map filing under the terms of an encroachment permit to be approved and issued by the Public Works Department prior to final map filing. An insurance certificate naming the City as additional insured and improvement security for Faithful Performance and Labor and Materials in conformance with City requirements will be required in conjunction with the issuance of the encroachment permit. In addition, the developer will be required to provide warranty security in the amount of 10% of the value of the public improvements. The warranty period will be two (2) years commencing on the date of acceptance of the public improvements.
21. The project shall be subject to dedication of public utility easements as required by the various utility companies and the City of Lodi, including, but not limited to, a minimum 10-foot wide public utility easement within the common access area to allow installation of the 4-inch public water main.
22. Abandonment/removal of wells, septic systems and underground tanks, if any, shall be in conformance with applicable City and County requirements and codes prior to approval of public improvement plans.
23. The existing driveway approach shall be removed and replaced by curb, gutter and sidewalk conforming to Standard Plan 135. The proposed driveway approach shall be a commercial driveway conforming to Standard Plan 114. The limits of curb, gutter and sidewalk removal and replacement to accommodate the existing and proposed driveways shall be to the approval of the Public Works Department and may include the entire Church Street frontage.
24. All project design and construction shall be in compliance with the Americans with Disabilities Act (ADA). Project compliance with ADA standards is the developer's responsibility.
25. Annexation to Community Facilities District 2007-1 (Public Services) to cover the cost of providing various City services is required. Annexation shall be complete prior to final map filing. All costs associated with annexation to the Community Facilities District shall be the responsibility of the developer.
26. In order to assist the City of Lodi in providing an adequate water supply, the Owner/Developer on behalf of itself, its successors and assigns, shall enter into an agreement with the City that the City of Lodi be appointed as its agent for the exercise of any and all overlying water rights

appurtenant to the proposed project site, and that the City may charge fees for the delivery of such water in accordance with City rate policies. In addition, the agreement shall assign all appropriative or prescriptive rights to the City. The agreement will establish conditions and covenants running with the land for all lots in the limits of the final map and provide deed provisions to be included in each conveyance.

27. All property dedicated to the City of Lodi shall be free and clear of all liens and encumbrances and without cost to the City of Lodi and free and clear of environmental hazards, hazardous materials or hazardous waste. Developer shall prepare and submit a hazardous materials report and shall indemnify the City against any and all hazardous materials and/or ground water contamination for all property/easements dedicated to the City.

28. Payment of the following:

- a. Filing and processing fees and charges for services performed by City forces per the Public Works Fee and Service Charge Schedule.
- b. Development Impact Mitigation Fees per the Public Works Fee and Service Charge Schedule prior to final condominium map filing.
- c. Wastewater capacity impact fee at the time of building permit issuance for each unit.
- d. Water capacity fee at building permit issuance for each unit.
- e. Water meter installation fees at the time of building permit issuance for each unit.
- f. County Facilities Fees at the time of building permit issuance for each unit.
- g. Regional Transportation Impact Fee (RTIF) at the time of building permit issuance for each unit.
- h. Storm water compliance inspection fee prior to parcel map filing or commencement of construction operations, whichever occurs first.

29. Obtain the following permits:

- a. San Joaquin County well/septic/underground tank abandonment permit, if necessary.

30. Additional comments and conditions will be provided in conjunction during building permit phase.

Electric Utilities Department:

31. All primary and secondary trenching, backfill and compaction shall be per City specifications at the owner's expense.

32. The construction specifications shall expose primary conduit to vault 49-12. Primary conduits shall be 2-2" conduits. Conduits shall be at minimum PVC, Type DB 120 (ASTM F 512 and NEMATC-8, Gray in color).

33. The applicant shall prove and install pull line in each conduit (primary secondary and service where applicable).

34. All secondary service boxes shall be 13" by 24" Polymer Box SNI 324TBOX12DUO.

35. All secondary conduits shall be 3" PVC, Type DB 120 (ASTM F 512 and NEMATC-8, Gray in color) minimum.

36. All service trenching, backfill and compaction trench depth shall be per 2004 California Electrical Code (CEC).

37. All service conduits shall be 2" conduits. Conduits shall be a minimum PVC, Type DB 120 (ASTM F 512 and NEMATC-8, Gray in color). All 90 degree elbows to have a minimum 24 in. radius. All exposed service conduit, including 90 degree elbows, shall be rigid steel.

38. The construction specifications shall provide excavation, backfill and compaction for transformer box pads.

39. The construction specifications shall provide excavation, backfill and compaction for secondary service boxes.

40. Transformer box pads shall be Proglass TX423820 per City of Lodi Specification 922 5404 (labor only)
41. All electrical lines shall be under ground and shall conform to Electrical Construction Standard 314 1008 at each primary junction box, transformer box pad, primary module enclosure, riser pole. The applicant shall contact the Lodi Electrical and Utility Department for location.
42. The project shall be subject to providing electrical easements as required by the EUD for existing and/or future primary facilities.
43. Primary cables shall be 1/0 str., Al, EPR, jacketed, concentric neutral 15 kV cables and shall be installed at the owner's expense.
44. Transformers shall meet style and ratings per approved City work order drawings and shall be installed at the owner's expense.
45. Secondary cables shall be provided from the pad-mounted transformer to the secondary service boxes. Secondary cables shall be 1 set of 350 kcmil, Al, XHHW and shall be installed at the owner's expense.
46. Secondary service boxes (Materials) shall meet City standards and shall be installed at the owner's expense.
47. Inspection of all electrical substructures shall be required prior to backfill. The applicant shall be responsible for the arrangement of inspection.
48. Box pad for pad-mounted transformer (Materials) shall meet City standards and shall be installed at the owner's expense.
49. Electrical substructures (conduit, grounding) shall be inspected by the EUD for proper installation prior to backfill of any excavation. The applicant may call the EUD at (209) 333-6817 to schedule inspection. The Developer shall notify the EUD 48 hours in advance of any inspection to be performed outside of the normal workday (Monday through Friday). Developer shall pay all overtime premiums associated with inspections outside of the normal workday. Electrical Utility Department shall provide compaction Testing Log at the developer's expense. Developer shall submit completed Compaction Testing Log to EUD inspector prior to installation of transformer pad.
50. All conduits shall be proved in a manner acceptable to the EUD. Conduit shall be free of dirt, rocks or other obstructions which could prevent, hinder or harm the installation of electric cable. Conduits shall be joined using a medium body, clear, electrical conduit PVC solvent cement approved by the EUD. All PVC couplings shall be long line couplings.
51. Service voltage shall be 120/240 volts, 1 phase, and 3 wire. The maximum fault current at the point of interconnection between the City and the customer (main switchboard service cable landing lugs) will be 10,000 amps symmetrical.
52. Service entrance panels and/or main switchboards shall conform to City of Lodi acceptable drawings in the E.U.S.E.R.C. manual (Electric Utility Service Equipment Requirements Committee). For non-residential panels rated less than or equal to 200 amps, the design shall be of the "Safety Socket Box" type (self-contained) meter socket. Manufacturer's drawings for panels/switchboards rated greater than 200 amps must be approved by the EUD prior to manufacture. Please forward panel/switchboard drawings to: City of Lodi, Metering Section, 1331 S. Ham Lane, Lodi CA95242-3995.
53. The minimum clear working space in the direction of access to live parts of electrical equipment shall not be less than specified in the 2004 California Electrical Code, which includes bumper posts, removable bumper posts or guard rails.

54. A permit and inspection of your service panel by the City's Building Inspection Division shall be required prior to energization. Please note that any costs associated with the permit and inspection process can be obtained by calling the City of Lodi, City Hall, at (209) 333-6714.
55. Trench depth and location may have shall be adjusted slightly in the field to avoid existing facilities.
56. Developer shall be responsible for condition of all substructures (for example, trench settlement, damaged substructures; etc.) until one year after the date of energization of the service. (ref. Rule and Regulation 15.D.2.c).
57. The contractor shall do no excavating until all utility agencies have been given the opportunity to mark their facilities in the field.
58. Maximum deflection of a 20' section of conduit shall be 5" unless pre-made bends are used.
59. Conduits at the transformer pad are shall be stubbed 2" above pad level.
60. The developer shall pay the Electric Utility Department charges in accordance with the Electrical Department's rules and regulations.
61. Additional comments and conditions will be provided in conjunction during building permit phase.

I hereby certify that Resolution No. 08-11 was passed and adopted by the Planning Commission of the City of Lodi at a regular meeting held on June 11, 2008, by the following vote:

AYES: Commissioners:

NOES: Commissioners:

ABSENT: Commissioners:

ATTEST: _____
Secretary, Planning Commission

Taqueria Santa Cruz 2533 W. Kettleman Ln. on-sale beer & wine license

Item 3c.

**CITY OF LODI
PLANNING COMMISSION
Staff Report**

MEETING DATE: June 11, 2008

APPLICATION NO: Use Permit: 08-U-05

REQUEST: Request for Planning Commission approval of a Use Permit to allow a Type-41 on-sale beer and wine license at Taqueria Santa Cruz located at 2533 West Kettleman Lane Suite 403. (Applicant: Ranjit Singh. File Number: 08-U-05)

LOCATION: 2533 West Kettleman Lane, Suite 403
APN: 027-420-14

APPLICANT: Ranjit Singh
2624 Blacktern Way
Elk Grove, CA 95757

PROPERTY OWNER: Geweke VIII L.P.
P.O. Box: 1210
Lodi, CA 95241

RECOMMENDATION

Staff recommends that the Planning Commission approve the request of Ranjit Singh for a Use Permit to allow a Type-41 on-sale beer and wine license at Taqueria Santa Cruz located at 2533 West Kettleman Lane Suite 403, subject to the conditions in the attached resolution.

PROJECT/AREA DESCRIPTION

General Plan Designation: NCC, Neighborhood Community Commercial
Zoning Designation: C-S, Commercial Shopping
Property Size: 1.2 acre. (Restaurant is approximately 1,200 square feet.)

The adjacent zoning and land use are as follows:

North: C-S, Commercial Shopping. Various retail and commercial shops are located north of the project site.

South: C-S, Commercial Shopping. Undeveloped commercial lots are located south of the project site.

East: C-S, Commercial Shopping. A grocery store and various retail establishments are located east of the project site.

West: C-S, Commercial Shopping. Restaurants, shops and undeveloped residential lots are located west of the project site.

SUMMARY

Ranjit Singh is requesting approval for a Use Permit to allow a Type-41 on-sale beer and wine license at Taqueria Santa Cruz. The census tract for the project site currently has an existing over concentration of liquor licenses. Since Taqueria Santa Cruz is a full service restaurant, staff does not anticipate any problems with issuing an additional liquor license. Staff is recommending that the Planning Commission approve the request for an on-sale alcohol license subject to the conditions in the attached resolution.

BACKGROUND

Taqueria Casa Mexicana (previously known as Taco Del Mar) is currently serving the City of Lodi with authentic Mexican favorites. Due to popular demand for traditional authentic Mexican favorites, the applicant recently changed the restaurants name and image as well as the food served to customers. The restaurant is located in the major commercial shopping area of Kettleman Lane and Lower Sacramento Road. The area contains a variety of commercial and retail businesses such as grocery stores, major retail outlets, restaurants, offices and various retail shops. To increase sales and attract customers, the applicant is requesting approval from the City to serve beer and wine at the restaurant.

ANALYSIS

According to the applicant, the Taqueria Santa Cruz offers a full breakfast, lunch and dinner menu of authentic Mexican favorites such as: tacos, burritos, nachos, tostadas, quesadillas and various combination plates. The restaurant is open from the hours of 9:00 a.m. to 9:00 p.m. Monday through Saturday and 10:00 a.m. to 8:00 p.m. on Sunday. The restaurant is approximately 1,200 square feet in size and provides seating for approximately 30 guests based on the floor plan provided by the applicant. On site parking is provided in the plaza which satisfies the parking requirement. In accordance with the State Department of Alcoholic Beverage Control (ABC) requirements, receipts from alcohol sale shall not be in excess of food sales receipts. ABC requires that restaurants with alcohol license must operate and maintain the premise as a bona fide eating establishment. Staff has contacted the Lodi Police Department for comment on the proposed on-sale beer and wine application and they do not anticipate alcohol related problems with the restaurant.

Section 17.72.040 of the Lodi Municipal Code requires a Use Permit for new Off-Sale and On-Sale alcohol licenses as well as changes in license type. The City established the Use Permit requirement to gain local control over whether or not a license is appropriate for a particular location. ABC primarily controls issuance based on concentration of licenses within a particular Census Tract. Census Tract 41.04 covers the area south of Turner Road, north of Kettleman Lane, east of Davis Road (County), and west of Lower Sacramento Road. According to ABC, Census Tract 41.04 contains 3 existing on-sale beer and wine licenses with 3 on-sale licenses allowed based on the ABC criteria. Because the request for a new alcohol license in this census tract will cause an over-concentration, the Planning Commission must make a finding of public necessity or convenience in order to approve an additional general on-sale license. In the past, the Planning Commission and the Planning staff have generally supported restaurants that wish to acquire an ABC on-sale license, because typically, restaurants that serve alcohol in conjunction with food sales do not create alcohol related problems.

Since Taqueria Santa Cruz is a restaurant that would like to sell beer and wine with food, staff does not anticipate the alcohol sales portion of the business to create any problems. This operation would be similar to other restaurants within Lodi. The Planning Commission and the Planning staff have generally supported restaurants that wish to acquire an ABC on-sale beer and wine license because restaurants that serve beer and wine in conjunction with food sales have not created alcohol related problems. If problems or concerns related to the sale of alcoholic beverages occur in the future, staff and or the Planning Commission may initiate a

public hearing where the Commission would have the ability to amend conditions or revoke the Use Permit.

ENVIRONMENTAL ASSESSMENTS:

The project was found to be categorically exempt according to the California Environmental Quality Act, Article 19, Guidelines §15321, Class 21 (a) (2). The project is classified as an “Enforcement Action by Regulatory Agencies” because it is the “adoption of an administrative decision or order enforcing...the lease, permit, license, certificate, or entitlement for use or enforcing the general rule, standard, or objective.” No significant impacts are anticipated and no mitigation measures have been required.

PUBLIC HEARING NOTICE:

Legal Notice for the Use Permit was published on May 29, 2008 and 7 public hearing notices were sent to all property owners of record within a 300-foot radius of the subject property as required by Government Code §65091 (a) (3).

ALTERNATIVE PLANNING COMMISSION ACTIONS:

- Approve the request with alternate conditions
- Deny the request
- Continue the request

Respectfully Submitted,

Concur,

Rick Caguiat
Junior Planner

Peter Pirnejad
Planning Manager

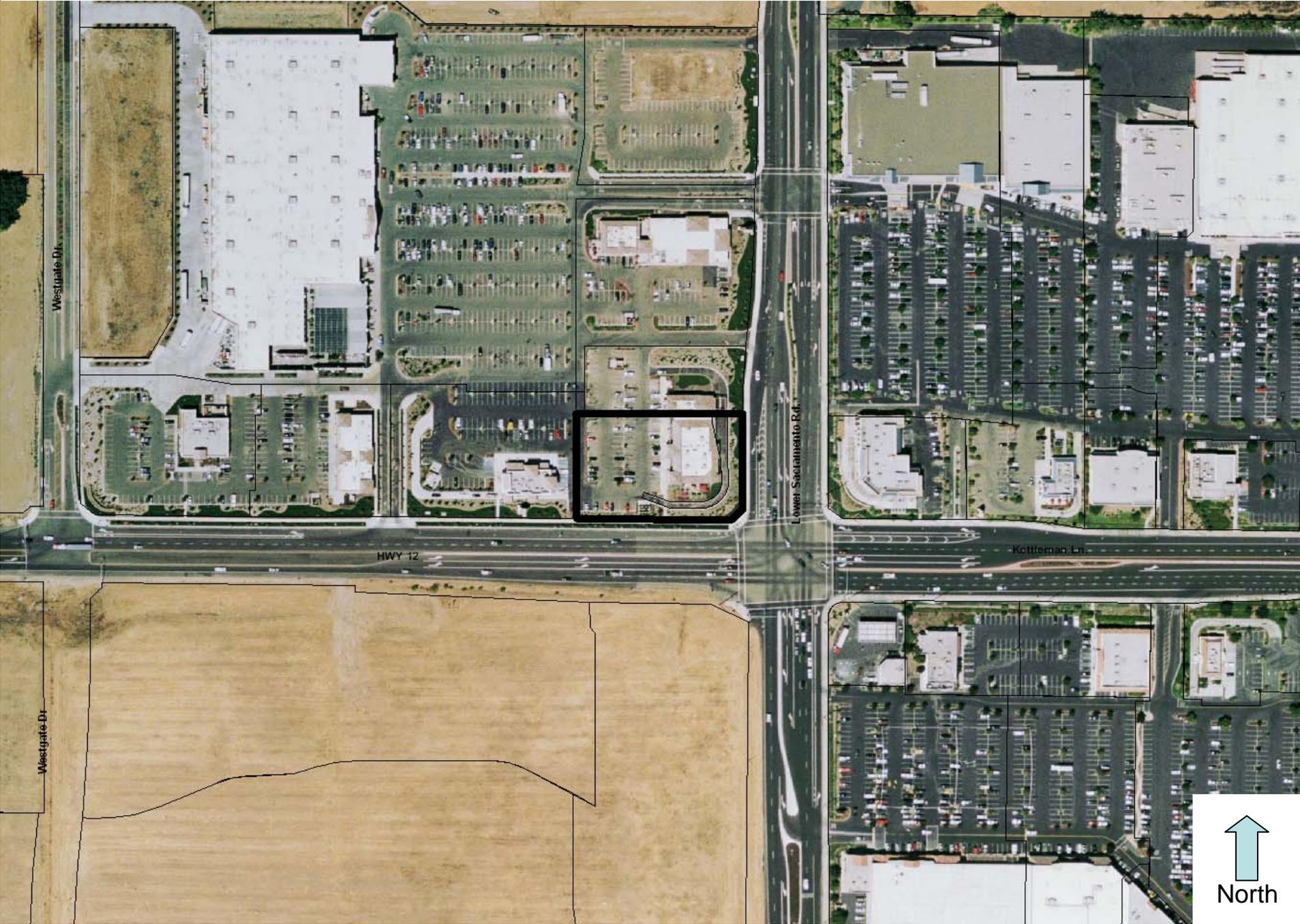
ATTACHMENTS:

1. Vicinity Map
2. Aerial Map
3. Floor Plan
4. Business description from applicant
5. Menu
6. Draft Resolution

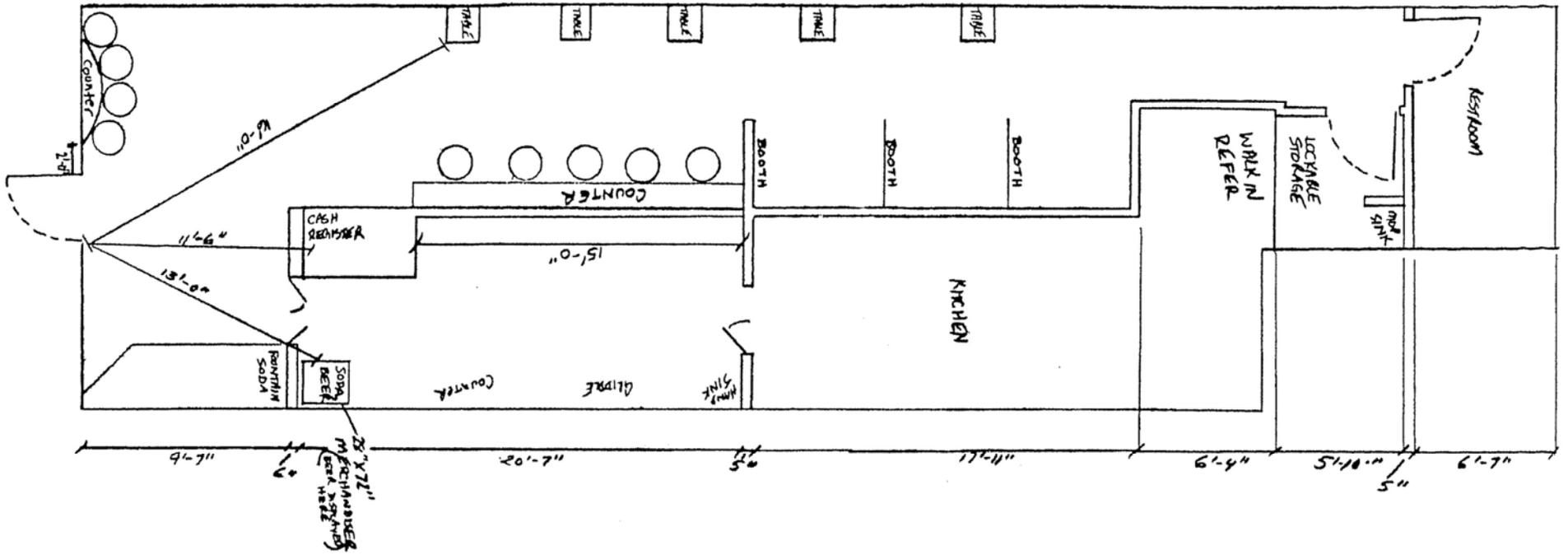
Vicinity Map



Aerial Map



Floor Plan



BUSINESS PLAN FOR SANTA CRUZ TAQUERIA

Santa Cruz Taqueria is an authentic Mexican food establishment. The Taqueria is open seven days a week. The hours of operation are 9am – 9pm Monday through Saturday and 10am – 8 pm on Sunday. Santa Cruz Taqueria serves breakfast items from 9am – 12pm, lunch and dinner items from 11am – close. We would like to offer our customers bottled beer, both domestic and import, with their lunches and dinners. While we expect that beer sales will be a small percentage of our total sales, we feel it will compliment our menu well and is an expected item for a Taqueria.

RECEIVED

APR 22 2008

COMMUNITY DEVELOPMENT DEPT
CITY OF LODI

BUQUENA SANGRIA

COMBO PLATES

All Combos Served with Rice and Beans

CARNE ASADA

CHILE VERDE

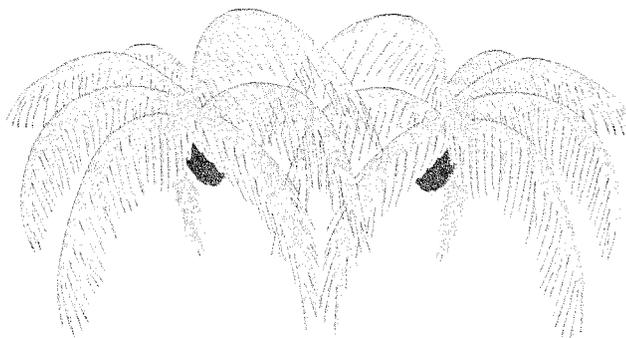
CHILE COLORADO

BEEF OR CHICKEN FAJITAS

CARNITAS

ANY 2 ITEMS

ANY 3 ITEMS



PLATILLO DE CAMARONES

All Plates Served with Rice and Beans

COCTEL DE CAMARON

CAMARONES RANCHEROS

CAMARONES AL MOJA DE AJO

CAMARONES A LA DIABLA

FAJITAS DE CAMARON

BURRITOS

REGULAR

(Choice of Meat, Beans, Rice, Salsa)

SUPER

(Choice of Meat, Beans, Rice, Cheese, Sour Cream, Guacamole, Salsa)

BEAN & CHEESE

(Refried Beans & Cheese)

WET

(Any Burrito smothered in our special sauce and topped with cheese)

TACOS

REGULAR

(Choice of Meat, Cilantro, Salsa)

SUPER

(Choice of Meat, Onions, Cilantro, Sour Cream, Guacamole, Salsa)

FISH

QUESADILLAS

REGULAR

(Choice of Meat, Cheese)

SUPER

(Choice of Meat, Cheese, Sour Cream, Guacamole, Salsa)

CHEESE ONLY

TACO SALAD

(Choice of Meat, Rice, Beans, Cheese, Lettuce, Sour Cream, Guacamole, Salsa)

TOSTADAS

REGULAR

(Choice of Meat, Beans, Lettuce, Salsa)

SUPER

(Choice of Meat, Beans, Lettuce, Sour Cream, Guacamole, Salsa)

NACHOS

REGULAR

(Choice of Meat, Cheese, Salsa)

SUPER

(Choice of Meat, Beans, Cheese, Sour Cream, Guacamole, Salsa)

TORTAS

MEXICAN STYLE SANDWICH

(Choice of Meat, Sour Cream, Guacamole, Salsa)

EXTRAS

- QUESO
- CREMA
- GUACAMOLE
- CARNE

YOUR CHOICE OF MEAT

CARNE ASADA, CHILE VERDE, AL PASTOR, CHILE COLORADO, POLLO, LENGUA, CARNITAS

BREAKFAST

HUEVOS RANCHEROS

HUEVOS CON CHORIZO

MACHACA

HUEVOS CON JAMON

(Ham and Eggs)

HUEVOS CON TOCINO

(Bacon and Eggs)

CHILAQUILES

BREAKFAST BURRITOS

HUEVOS CON CHORIZO

HUEVOS CON TOCINO

HUEVOS CON JAMON

MACHACA

PAPAS CON HUEVOS

(Potatoes and Eggs)

RESOLUTION NO. P.C. 08-12

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LODI APPROVING THE REQUEST OF RANJIT SINGH FOR A USE PERMIT TO ALLOW ON-SALE BEER AND WINE AT TAQUERIA SANTA CRUZ LOCATED AT 2533 WEST KETTLEMAN LANE SUITE 403. (FILE # 08-U-05)

WHEREAS, the Planning Commission of the City of Lodi has heretofore held a duly noticed public hearing, as required by law, on the requested Use Permit, in accordance with the Lodi Municipal Code Section 17.72.070; and

WHEREAS, the project proponent is Ranjit Singh; and

WHEREAS, the property owner is Geweke VIII L.P., P.O. Box: 1210, Lodi, CA 95241; and

WHEREAS, the property is located at 2533 West Kettleman Lane Suite 403, Lodi, CA (APN 027-420-14); and

WHEREAS, the property has a General Plan designation of NCC, Neighborhood Community Commercial and is Zoned C-S, Commercial Shopping; and

WHEREAS, the Use Permit to allow the sale of beer and wine for on-site consumption within the restaurant is an enforcement action in accordance with the City of Lodi Zoning Ordinance; and

WHEREAS, Census Tract 41.04 in which the restaurant is located currently has an over concentration of licenses allowing on premise consumption of alcoholic beverages; and

WHEREAS, because Census Tract 41.04 has an over concentration of on-sale general alcohol licenses, the Planning Commission must make a finding of necessity or public convenience in order to permit the issuance of an additional Alcohol Beverage Control license in this tract; and

WHEREAS, the State Department of Alcoholic Beverage Control (ABC) has training available that clearly communicates State law concerning the sale of alcoholic beverages; and

WHEREAS, all legal prerequisites to the adoption of this Resolution have occurred.

Based upon the evidence within the staff report and project file the Planning Commission finds:

1. The project is categorically exempt according to the California Environmental Quality Act, §15321, Class 21 (a) (2) (Enforcement Action by Regulatory Agency). The permit is being granted under adoption of an administrative decision or order enforcing the ABC license and enforcing Section 17.72.070 of the Zoning Ordinance and no significant impacts are anticipated and no mitigation measures have been required.
2. In order to comply with the State Department of Alcoholic Beverage Control, a Type-41 on-sale beer and wine license requires the sale of alcoholic beverages be secondary to food sales, which is the major activity of the project proponent's business.
3. The sale of alcoholic beverages as part of a restaurant is a public convenience that does not typically create alcohol related problems.
4. The proposed use is expected to be compatible with the surrounding use and neighborhood.
5. The granting of the Use Permit is consistent with the City's General Plan and Zoning Ordinance.

NOW, THEREFORE, BE IT DETERMINED AND RESOLVED by the Planning Commission of the City of Lodi that Use Permit Application No. 08-U-05 is hereby approved, subject to the following conditions:

1. The project proponent will defend, indemnify, and hold the City, its agents, officers, and employees harmless of any claim, action, or proceeding to attack, set aside, void, or annul this permit, so long as the City promptly notifies the developer of any claim, action, or proceedings, and the City cooperates fully in defense of the action or proceedings.
2. The project proponent shall operate and abide by the requirements and conditions of the State of California Department of Alcoholic Beverage Control License Type-41.
3. The Type-41 License shall be limited to on-site sale and consumption of beer and wine during the hours that the restaurant is open for dining, from 9:00 a.m. to 9:00 p.m. Monday through Saturday and 10:00 a.m. to 8:00 p.m. Sunday.
4. There shall be no off-sale of alcoholic beverages and the sale of food shall compose more than 50 percent of gross sales receipts.
5. Prior to the issuance of a Type-41 license, the project proponent shall complete Licensee Education on Alcohol and Drugs as provided by the State Department of Alcoholic Beverage Control.
6. The project proponent shall insure that the serving of alcohol does not cause any condition that will cause or result in repeated activities that are harmful to the health, peace, welfare or safety of persons residing or working in the surrounding area. This includes, but is not limited to: disturbances of the peace, illegal drug activity, public drunkenness, drinking in public, harassment of passerby, assaults, batteries, acts of vandalism, loitering, excessive littering, illegal parking, excessive loud noises (especially in the late night or early morning hours), traffic violations or traffic safety based upon last drink statistics, curfew violations, lewd conduct, or police detention and arrests.
7. The conditions of the Use Permit are subject to review by staff and the Planning Commission for compliance.
8. No variance from any City of Lodi adopted code, policy or specification is granted or implied by the approval of this resolution.

Dated: June 11, 2008

I hereby certify that Resolution No. 08-12 was passed and adopted by the Planning Commission of the City of Lodi at a regular meeting held on June 11, 2008 by the following vote:

AYES: Commissioners:

NOES: Commissioners:

ABSENT: Commissioners:

ATTEST: _____
Secretary, Planning Commission

Item 3d.

**CITY OF LODI
PLANNING COMMISSION
Staff Report**

MEETING DATE: June 11, 2008

APPLICATION NO: Use Permit: 08-U-06

REQUEST: Request for Planning Commission approval of a Use Permit to allow a Type-41 on-sale beer and wine license at Janet's Richmaid Restaurant located at 100 South Cherokee Lane.
(Applicant: Janet Crow. File Number: 08-U-06)

LOCATION: 100 South Cherokee Lane
APN: 043-230-11

APPLICANT: Janet Crow
25864 Ridge Drive
Pioneer, CA 95666

PROPERTY OWNER: Gary and Janet Crow
25864 Ridge Drive
Pioneer, CA 95666

RECOMMENDATION:
Staff recommends that the Planning Commission approve the request of Janet Crow for a Use Permit to allow a Type-41 on-sale beer and wine license at Janet's Richmaid Restaurant located at 100 South Cherokee Lane, subject to the conditions in the attached resolution.

PROJECT/AREA DESCRIPTION:
General Plan Designation: GC, General Commercial
Zoning Designation: C-2, General Commercial
Property Size: 30,700 square feet.

The adjacent zoning and land use are as follows:

North: C-2, General Commercial. A vacant car sales lot and various retail shops are located north of the project site.

South: C-2, General Commercial. A car sales lot and fast food restaurants are located south of the project site.

East: M-1, Light Industrial. A concrete storage, tire shop, vehicle repair are various industrial warehouses are located east of the project site.

West: C-2, General Commercial. Single family homes and various retail shops are located west of the project site.

SUMMARY:

Janet Crow is requesting approval for a Use Permit to allow a Type-41 on-sale beer and wine license at Janet's Richmaid Restaurant. The census tract for the project site currently has an existing over concentration of liquor licenses. Since Janet's Richmaid is a full service restaurant, staff does not anticipate any problems with issuing an addition liquor license in the census tract. Staff is recommending that the Planning Commission approve the request for an on-sale alcohol license subject to the conditions in the attached resolution.

BACKGROUND:

The historic Richmaid building on Cherokee Lane was built in 1938 originally as a creamery. The current owners, Janet and Gary Crow, have successfully turned the building into a full service restaurant which has been serving home-style meals the last ten years. The property is located in the eastside of the City, on the major commercial strip of Cherokee Lane. The area contains a variety of commercial and retail businesses such as restaurants, convenience stores, hotels and various retail shops. To increase sales and attract customers, the applicant is requesting approval from the City to serve beer and wine at the restaurant.

ANALYSIS:

Janet's Richmaid Restaurant is a full service restaurant which is well known for their home-style breakfast, lunch and diner menus. The restaurant is open from the hours of 6:00 a.m. to 8:00 p.m. Monday through Sunday. The restaurant serves up to 150 guests as well as large banquets. On site parking is provided which satisfies the parking requirement. According to the applicant, customers have inquired about the possibility of having a glass of local wine or cold beer to compliment their meal. Due to popular demand, the applicant responded to their customers by applying to the City to allow the serving of beer and wine at the restaurant. In accordance with the State Department of Alcoholic Beverage Control (ABC) requirements, receipts from alcohol sale shall not be in excess of food sales receipts. ABC requires that restaurants with alcohol license must operate and maintain the premise as a bona fide eating establishment. Staff has contacted the Lodi Police Department for comment on the proposed on-sale beer and wine application and they do not anticipate alcohol related problems at the restaurant.

Staff sent copies of the application to various City departments for comments and review. The Fire Prevention Bureau conducted a fire equipment inspection last year and found the hood and duct fire extinguishing system in the second floor kitchen non-compliant. The Fire Department is concerned that the usage of the banquet room on the second floor will increase with the approval of serving alcohol. The Fire Department conditionally approved the request provided that the applicant either upgrade the sprinkler system or remove the cooking components. The applicant has been notified regarding this issue and is working closely with the City's Fire Department. The Building, Public Works, Electric Utility Departments had no comments and had no objections to the request for an alcohol license.

Section 17.72.040 of the Lodi Municipal Code requires a Use Permit for new Off-Sale and On-Sale alcohol licenses as well as changes in license type. The City established the Use Permit requirement to gain local control over whether or not a license is appropriate for a particular location. ABC primarily controls issuance based on concentration of licenses within a particular Census Tract. Census Tract 45 covers the area south of the Mokelumne River, north of Lodi Avenue, east of the Union Pacific Railroad, and west of Guild Avenue. According to ABC, Census Tract 45 contains 15 existing on-sale beer and wine licenses with 7 on-sale licenses allowed based on the ABC criteria. Because this census tract is over-concentrated, the Planning Commission must make a finding of public necessity or convenience in order to approve an additional general on-sale license. In the past, the Planning Commission and the Planning staff have generally supported restaurants that wish to acquire an ABC on-sale

license, because typically, restaurants that serve alcohol in conjunction with food sales do not create alcohol related problems.

Since Janet's Richmaid Restaurant is a full service restaurant that would like to sell beer and wine with food, staff does not anticipate the alcohol sales portion of the business to create any problems. This operation would be similar to other restaurants within Lodi. The Planning Commission and the Planning staff have generally supported restaurants that wish to acquire an ABC on-sale beer and wine license because restaurants that serve beer and wine in conjunction with food sales have not created alcohol related problems. If problems or concerns related to the sale of alcoholic beverages occur in the future, staff and or the Planning Commission may initiate a public hearing where the Commission would have the ability to amend conditions or revoke the Use Permit.

ENVIRONMENTAL ASSESSMENTS:

The project was found to be categorically exempt according to the California Environmental Quality Act, Article 19, Guidelines §15321, Class 21 (a) (2). The project is classified as an "Enforcement Action by Regulatory Agencies" because it is the "adoption of an administrative decision or order enforcing...the lease, permit, license, certificate, or entitlement for use or enforcing the general rule, standard, or objective." No significant impacts are anticipated and no mitigation measures have been required.

PUBLIC HEARING NOTICE:

Legal Notice for the Use Permit was published on May 29, 2008 and 24 public hearing notices were sent to all property owners of record within a 300-foot radius of the subject property as required by Government Code §65091 (a) (3).

ALTERNATIVE PLANNING COMMISSION ACTIONS:

- Approve the request with alternate conditions
- Deny the request
- Continue the request

Respectfully Submitted,

Concur,

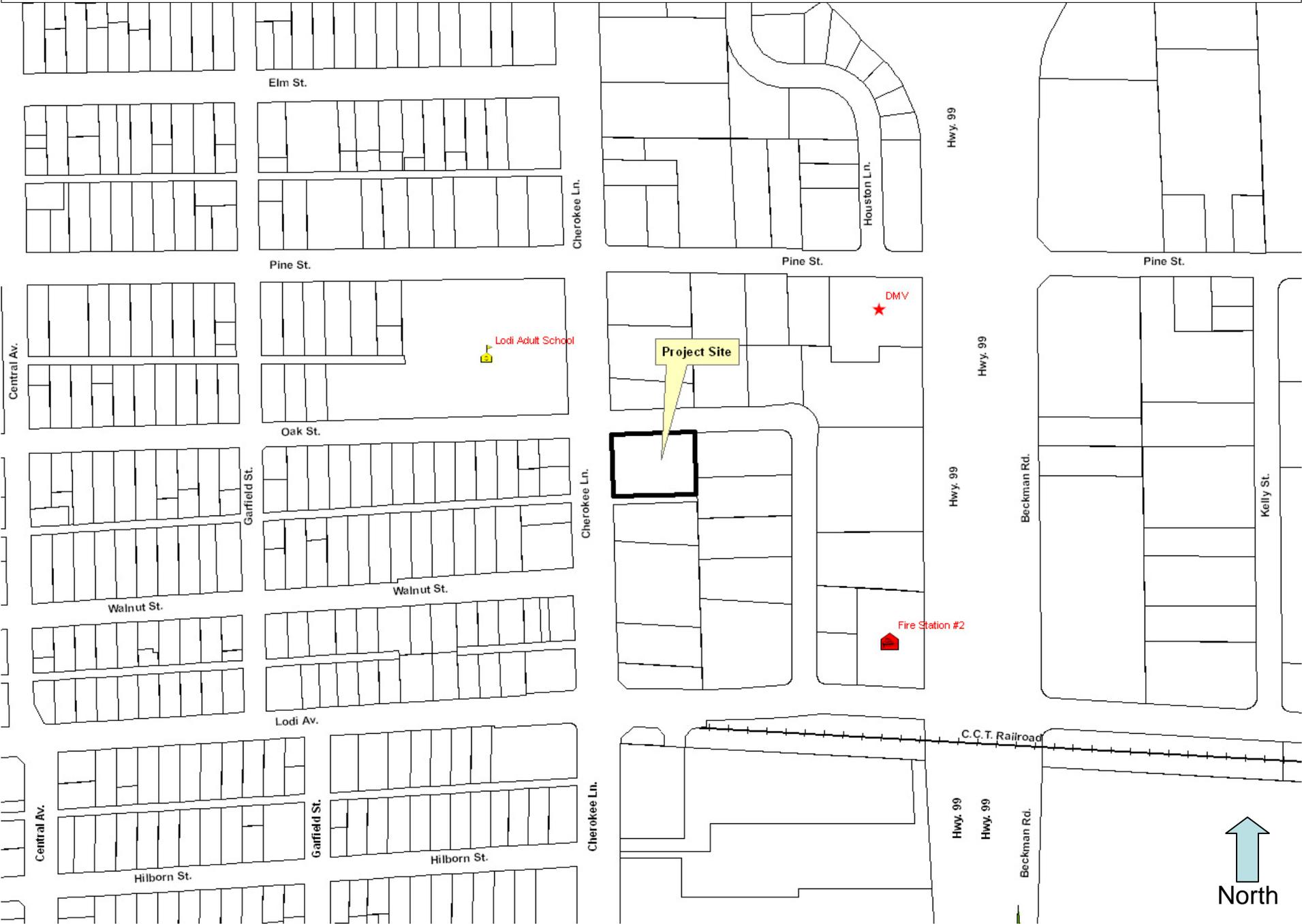
Rick Caguiat
Junior Planner

Peter Pirnejad
Planning Manager

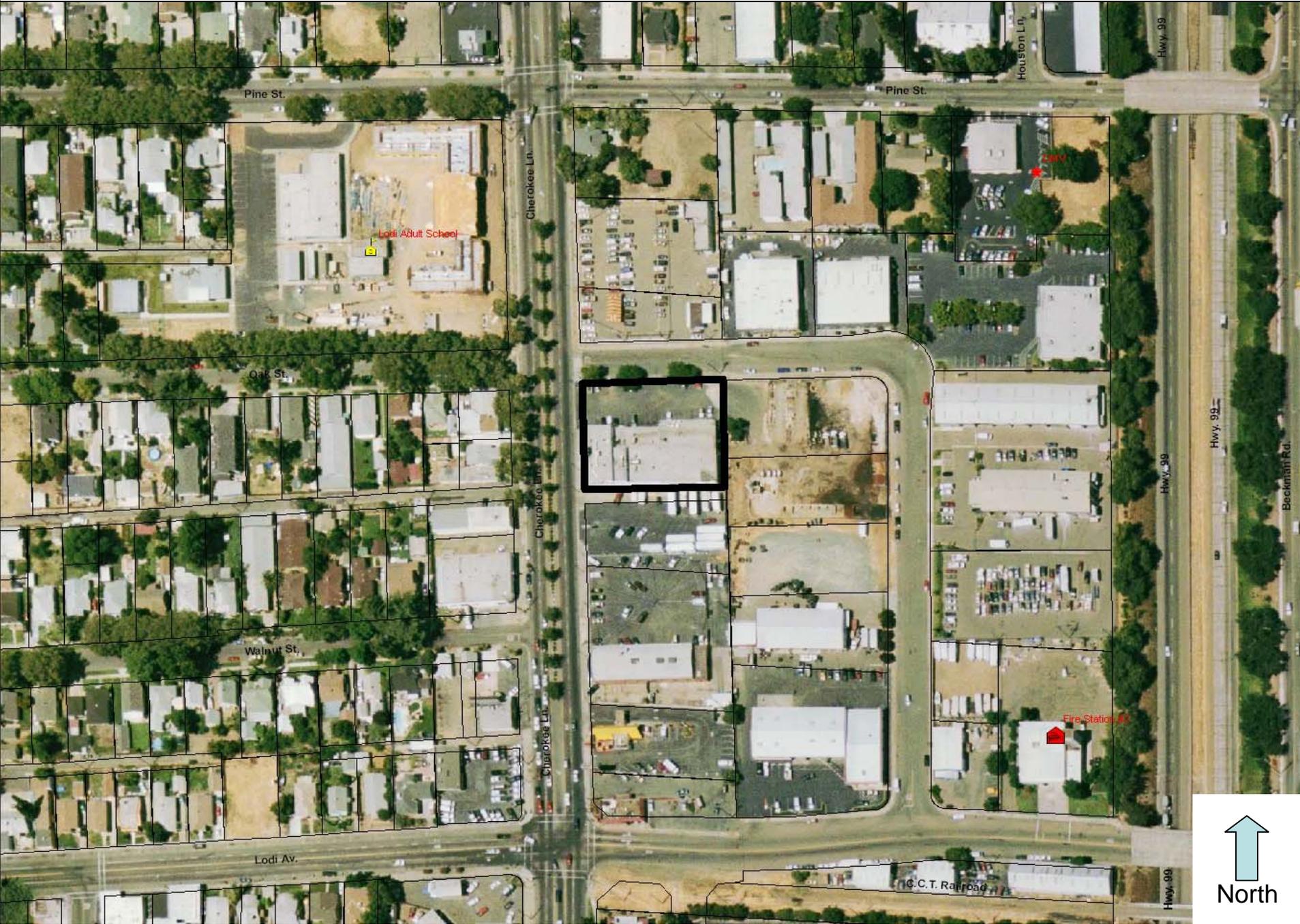
ATTACHMENTS:

1. Vicinity Map
2. Aerial Map
3. Floor Plan
4. Business description from applicant
5. Menu
6. Draft Resolution

Vicinity Map

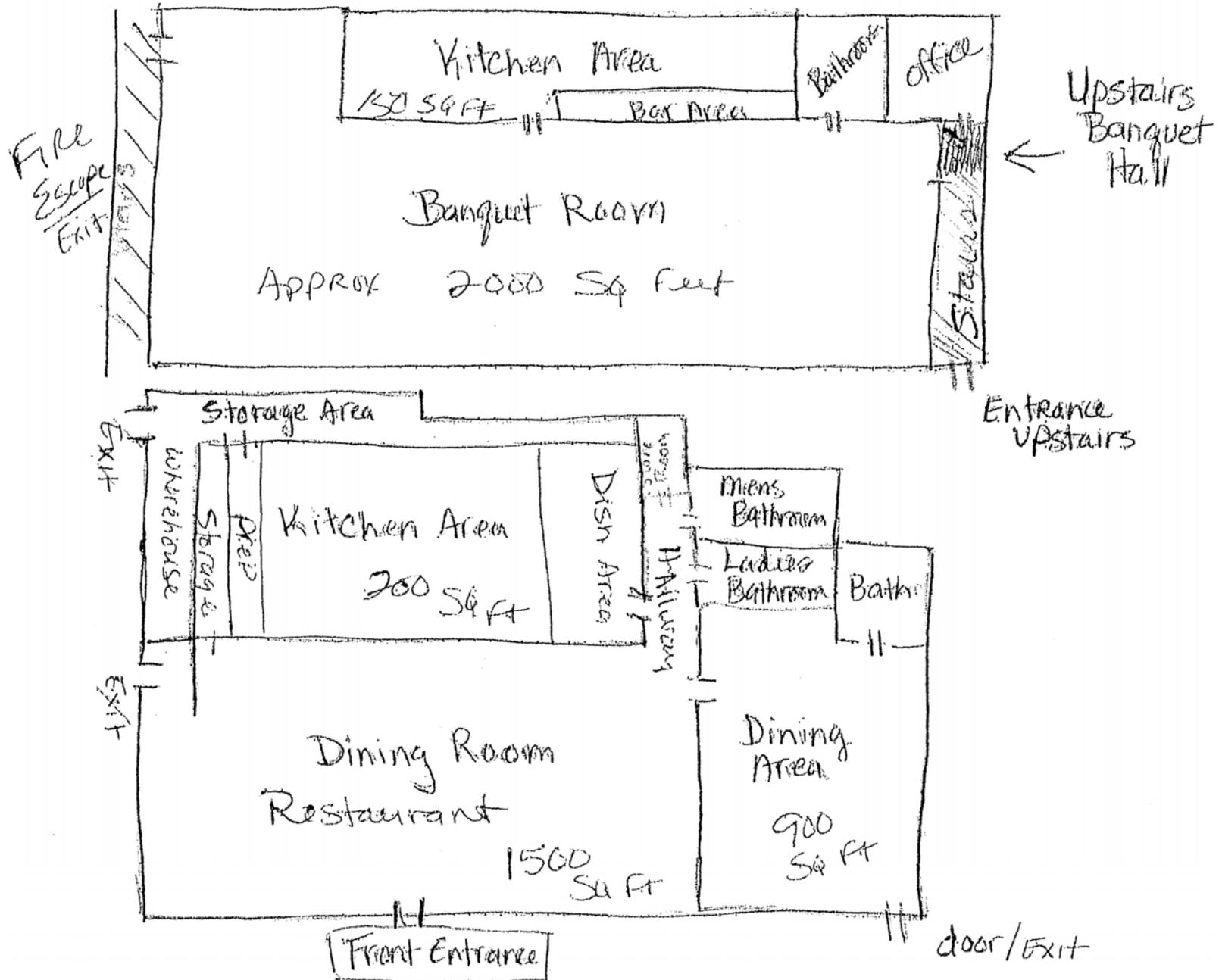


Aerial Map



North

Floor Plan





Richmaid Restaurant

100 S. Cherokee Lane Lodi, CA 95240

Office(209)368-4279 Fax(209)368-4050

RECEIVED

MAY 08 2008

May 1, 2008

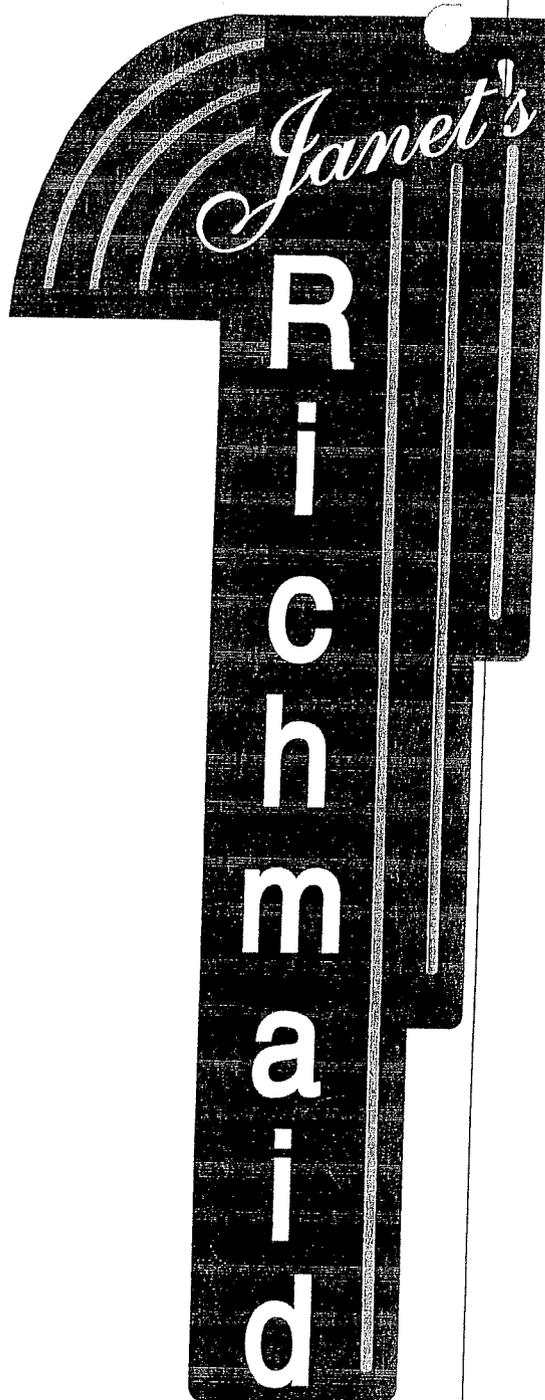
COMMUNITY DEVELOPMENT DEPT
CITY OF LODI

To whom it may concern:

This letter is in regards to our recent application to sell beer and wine at our restaurant. Richmaid has been a landmark in Lodi since 1938, originally as a creamery. Gary and I have successfully operated our own full service restaurant now for 10 years, since 1998. Our hours of operation are 6AM to 8PM, seven days a week. We are known for our home-style breakfasts, lunches, and dinners; serving up to 150 guests as well as large banquets. We are at this time requesting to be allowed to serve beer and wine as a necessity to keep our restaurant running. The economy today, being the way it is with the cost of food and gas skyrocketing, has had an impact on our sales! As with many other businesses that have lost sales due the economy crunch, we need to capture the business of a new clientele and build revenue. We are located in the heart of most all hotels in Lodi, as well as being just blocks from the Lodi Grape Festival Grounds. Both the hotels and festival grounds send many customers our way however, many of them come looking for a glass of local Zinfandel or a cool beer with their meal, which we were unable to serve them. Carrow's Restaurant that was about 1 mile down the road, which did serve beer and wine, recently closed and has left us the only home-style, full service restaurant on the East side. We have noticed and have had comments from patrons that they love the Richmaid and would enjoy coming back, but wanting a glass of wine or a beer has them going elsewhere. Gary and I don't see any problems with intoxicated customers since we close early in the evenings and have no live entertainment or music. We are a restaurant where families just want to come and enjoy a home style meal with a glass of wine and then go home to their house or hotel room. We can assure you that all our staff will be properly trained in how to serve alcoholic beverages and how not to serve to minors. Gary and I are hands-on owners and work full time in the restaurant, that way overseeing all activities anyways. Thank you for considering this as an asset to our patrons and all visitors who are looking for local wines in Lodi.

Sincerely,

Janet & Gary Crow
Owners/Operators



Restaurant
Home Style Cooking at it's Best

Janet and Gary welcome you.

100 South Cherokee Lane
Lodi, CA.

Good Morning

Breakfast gladly served all day...

Our fluffy 3 egg omelettes and 2 egg breakfast orders are pan fried and served with your choice of country potatoes or hash browns and choice of toast or biscuit and jelly.

Turkey sausage, and Promise margarine available upon request. We use only 100% Canola oil for all frying. Healthy egg substitute 20¢ Substitutions? You bet, just add 25¢ for each substitution.

3 Egg Omelettes

(2 eggs on request)

Enchilada Omelette 7.99
Shredded beef, Ortega chilies and black olives, topped with enchilada sauce and cheddar cheese.

VEGETABLE 7.29
Sautéed mushrooms, onion, tomato & bell pepper folded in our fluffy 3 egg omelette & topped with Cheddar cheese.

DENVER 7.89
Ham, cheese, bell pepper, tomato and onion.

SPANISH 7.99
Olives, bell pepper, tomato, onion, mushrooms & cheese, topped with *homemade* salsa, sour cream and fresh avocado.

RICHMAID EGGSTRAVAGANZA 7.99
Sausage, ham, bacon, Cheddar cheese, tomato, onion, bell pepper and mushrooms.

CHILI N' CHEESE 7.89
Served with onions on request.

COUNTRY SCRAMBLE 7.89
3 eggs scrambled with sausage, onion, bell pepper and cheese served over country style potatoes and side of country gravy.

VEGETABLE SCRAMBLE 7.29
3 eggs scrambled with mushrooms, onion, tomato, bell pepper and cheese, served over our country style potatoes. Fresh *homemade* salsa on the side.

ORTEGA CHILI OMELETTE 7.39
Our fluffy 3 egg omelette stuffed with ortega chilies and cheese.

Eggs N'More

HAM, SAUSAGE OR BACON & 2 EGGS 6.99

COUNTRY SAUSAGE & 2 EGGS 7.29
Add an extra sausage patty 1.50

CHICKEN FRIED STEAK & 2 EGGS 7.99
Fried to a golden brown, served with country gravy and 2eggs.

2 EGGS ANY STYLE 4.50
Served with your choice of potato and toast.

HUEVOS RANCHEROS 7.99
2 eggs any style served over corn tortillas, with creamy green chili picante sauce, beans, olives, avocado and Gary's *homemade* Salsa (no toast with this one).

PORK CHOP N' 2 EGGS 7.75
Our center cut pork chop lightly floured and grilled along side a pair of eggs cooked to your liking. Add 1 more chop for just 1.50 more.

LODI-MADE BRATWURST & 2 EGGS 7.95
From Lodi's famous LAKEWOOD Meat Co.

CORNED BEEF HASH & 2 EGGS 7.99
Poached or fried with our *homemade* corned beef hash. Served with country potatoes and fresh fruit.

Gary's Special 8oz Wrangler Steak 9.99 & 2 EGGS Charbroiled to your order. Add sautéed mushrooms or onions- 99¢

From The Griddle

You just gotta try our *delicious home-baked* waffle.

BELGIUM STYLE WAFFLE 5.59
Blended and baked fresh in our kitchen.

BELGIUM STYLE WAFFLE COMBO 7.29
Served with 2 eggs and 2 bacon strips or 2 sausage links.

FRENCH TOAST 4 Halves 4.89

STACK PANCAKES 4 Cakes 4.89

SHORT STACK 2 Cakes 3.89

TWO, TWO N' TWO 7.29
2 eggs *plus* 2 bacon strips *plus* 2 sausage links, country potatoes or hash browns and choice of pancakes or French toast.

Healthy Start- oats, fresh fruit & toast. 6.89

FRENCH TOAST, PANCAKES or BELGIUM STYLE WAFFLE WITH TOPPING

For a special treat, top your French toast, pancakes or waffles with one of the following toppings:
Hot Apples with whipped cream and chopped walnuts or banana slices with whipped cream and caramel, or Cinnamon topping 7.29

Sides, Extras & Beverages

Fresh Fruit large 3.69
Fresh Fruit small 2.55
Sausage, Bacon or Ham 3.20
Country Sausage 3.20
Country Potatoes or Hash browns 1.95
One Egg (any style) .99
Assorted Muffins 2.25
Bagle with Cream Cheese 2.50
Toast: White, Wheat, Sourdough, Rye, or English Muffin 1.85
Oatmeal or Cold Cereal 3.50

Gary's *homemade* Salsa 40¢
Bratwurst 3.99

GOURMET COFFEE,
DECAF or HOT TEA 1.50
We grind our fresh beans "pot by pot".

HOT COCOA 1.55 3.25
MILK small 1.65 large

ASSORTED JUICES Choose from
Orange, Apple, Tomato or Grapefruit.
small 1.65 large 3.25

2 BISCUITS N'GRAVY 3.99

Check out our...

Neighbors
Central Valley R.V. Repair
For all your R.V. repairs.
Great Service & Great Prices.

- Also -

Dry Creek Rock & Ready Mix
For all your outdoor & decorative needs.

Lunchables

Ask about our Daily Lunch Specials- Lunch items available after 11 AM

Appetizers & More

- Quesadilla** 7.55
Choose Chicken or Steak.
- Chili in a Bread Bowl** 7.50
Served with tossed green salad.
- Nachos Grande** 8.29
With Chicken or Steak.
- Chili with Corn Bread** 5.99
- Chicken Strips** 6.85
Homemade BBQ sauce for dipping.
- FISH & CHIPS** 7.55
Icelandic Cod battered and golden fried. Served with both coleslaw and French fries, tartar sauce and lemon wedges.

Fresh Salads

- CHICKEN OR STEAK TOSTADA** 8.99
This show piece salad starts with a giant flour tortilla filled with chili, shredded lettuce, Cheddar cheese and diced tomato. Topped with your choice of Steak or Chicken.
- CHICKEN CEASAR SALAD** 8.99
Our broiled chicken breast rests atop a mound of fresh Romain lettuce tossed with our own creamy Ceasar dressing, croutons, red onions, olives and sprinkled with fresh shredded Parmesan cheese. Served with grilled garlic bread.
- CHEF'S SALAD** 7.99
- CHICKEN STRIP SALAD** 7.99
- TUNA SALAD** 7.99
- SPECIAL CHICKEN SALAD** 7.99

Hot Sandwiches

All sandwiches served with *homemade* coleslaw or carrot raisin salad and French fries. We use only 100% Canola oil for all frying.

- BBQ BEEF** 7.59
A house specialty with *homemade* sauce.

- HOT TURKEY or BEEF** 7.59
Freshly roasted turkey or roast beef served open faced with *homemade* mashed potatoes, gravy, and coleslaw.

- PHILLY CHEESE STEAK** 7.69
Shaved slices of beef steak with melted Swiss cheese, bell pepper and onion on a warm French roll.

-  **PATTY MELT** 7.59
Our *one third pound* ground *Sirloin* burger patty charbroiled and topped with grilled onions and American cheese on grilled Parmesan rye bread.

- FRENCH DIP** 7.59
Thinly sliced roast beef piled high on a warm French roll. Served with *au jus* for dipping.

- TERIYAKI CHICKEN SANDWICH** 7.59
Charbroiled boneless & skinless breast of chicken garnished with a pineapple ring. Teriyaki sauce, lettuce and Swiss cheese on a warm bun.

- TURKEY & BACON MELT** 7.59
Our freshly roasted turkey smothered with cheddar cheese, tomato slices, 2 strips of bacon and avocado on grilled Parmesan sourdough.

- TUNA MELT** 7.49
Fresh tuna salad on grilled Parmesan sourdough with Swiss cheese and tomato.

- CALIFORNIA CLUB** 7.79
Our broiled chicken breast topped with bacon avocado, onion, tomato slices and lettuce on a warm french roll.

- REUBEN SANDWICH** 7.79
Freshly cooked corned beef thinly sliced and piled on grilled rye bread with sauerkraut, Thousand Island dressing and Swiss cheese.

- Club Sandwich** 7.99
This traditional triple decker comes loaded with turkey, bacon, ham, lettuce and tomato with mayonnaise.

- SANDWICH COMBO** 7.39
Choose from BLT, Tuna Salad, Chicken Salad, Turkey, Grilled Ham N' Cheese or Egg Salad *plus* your choice of Soup of the Day or French fries *and* coleslaw.



- GARY'S SPECIAL 8OZ WRANGLER STEAK** 9.99
Served open faced and garnished with an onion ring. Add sautéed mushrooms or onions- 99¢

Burgers

Our *one third pound* *Corned Angus* burger patties served with *Siack House* fries and garnished with lettuce, tomato slices and dill pickle. Choose coleslaw or carrot raisin salad. *with avocado 1.00*

- BBQ BACON BURGER** 7.69
Our best burger with *homemade* sauce and cheese.
- DELUXE BURGER** 6.59
Add Swiss or American cheese for just 40¢ extra.
- CHILI BURGER** 7.69
Open faced with plenty of cheese and onions.
- ORTEGA SWISS BURGER** 7.69
Our ground sirloin burger topped with ortega chilies and swiss cheese.
Replace the meat with a veggie patty-Just ask.

Sides

- CORN BREAD or BISCUIT** 1.50
- FRENCH FRIES** 1.99
- CHILI FRIES** 5.99
- ONION RINGS** 4.29
- DINNER SALAD** 3.25
- SOUP OF THE DAY** CUP 2.09 BOWL 2.99
- CLAM CHOWDER** CUP 2.30 BOWL 3.40
Available on Friday only.

Beverages

- The following beverages include *free refills*:
PEPSI, DIET PEPSI, DR. PEPPER, SIERRA MIST,
ROOT BEER, PINK LEMONADE, RASPBERRY ICE
TEA OR FRESHLY BREWED ICE TEA
Your choice 1.79 each

Complete Dinners

Our "Complete Dinners" include soup or salad and choice of fresh vegetable, coleslaw or carrot raisin salad, plus your choice of baked beans, rice or potato: *homemade* mashed potato, steak house fries (baked potato after 4pm), dinner roll and dessert. We use only 100% Canola oil for all frying. Split Plate Charge 1.00
Ask about our nightly Dinner Specials.

SALISBURY STEAK 9.69
Homemade every day. Fresh ground beef mixed with fresh bell pepper, onion and spices. Served with our *homemade* mashed potatoes.



CHICKEN FRIED STEAK 9.69
Fried to a golden brown then smothered in our country gravy. Served with our *homemade* mashed potatoes.

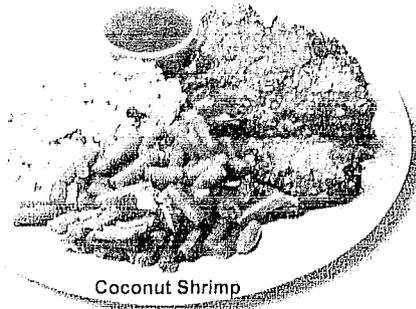
BBQ CHICKEN HALF 9.69
One half chicken, slow cooked and juicy. Finished on our open flame broiler and basted with our special recipe BBQ sauce.

GARY'S SPECIAL WRANGLER STEAK 10.9
Broiled to perfection over our open flame charbroiler. Add Sautéed mushrooms or onions- 99¢

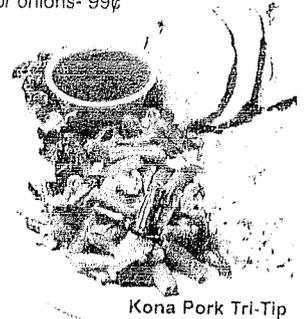
Kona Pork Tri-Tip 10.99
Delicious and tender with a Hawaiian flair. Great with rice pilaf.

Coconut Shrimp 10.99
6 Large shrimp coconut crusted and golden fried. Served with Thai sweet sauce for dipping.

BEEF TRI-TIP STEAK 10.99
Served with our *homemade* BBQ sauce on the side.



Coconut Shrimp



Kona Pork Tri-Tip



Wild Salmon Fillet 11.99
Grilled and finished with garlic/dill butter.



STEAK & SHRIMP 13.99
Gary's 8oz Wrangler steak grilled to your order and three golden fried breaded shrimp.

POT ROAST 9.69
Braised and simmered for hours. Best with our *homemade* mashed potatoes and natural gravy. This house specialty is cooked fresh daily so when we sell out that's it 'til tomorrow.



TURKEY AND STUFFING 9.99
We roast the whole turkey so if you would like all the meat, just speak up. Roasted here daily and hand carved. Served with our savory *homemade* sage stuffing and rich natural gravy - a house specialty since 1997.



HOMEMADE MEATLOAF 9.69
Grandma's old recipe. Made here daily with fresh ground beef and seasoned just right. Try it with our *homemade* mashed potatoes and gravy.

PORK CHOPS 10.29
Two center cut chops floured and grilled to a golden brown. Great with our *homemade* mashed potatoes and country gravy.



TERIYAKI STYLE CHICKEN 9.29
Boneless and skinless chicken breast marinated and broiled, topped with our Teriyaki glaze - best with rice.



TURKEY AND STUFFING

BEER BATTERED COD 10.99
Icelandic Cod dipped in our own beer batter and golden fried. Served with tartar sauce and lemon wedges.

LIVER & ONIONS & BACON 8.99
Tender young beef liver floured and grilled with a shot of wine, topped with both grilled onions and fresh grilled bacon.



Liver & Onions & Bacon

CHICKEN STRIPS 8.99
Breast tenderloin golden fried and served with our *homemade* BBQ sauce for dipping.

FRIED CHICKEN 10.59
Over a pound of golden fried chicken, served country style with *homemade* mashed potatoes and our country gravy.

Pasta

Served with thick sliced garlic bread, but no potato or vegetables.

CHICKEN PARMESAN 10.99
Boneless and skinless breast of chicken hand breaded in our *homemade* seasoned bread crumbs, sautéed and served with spaghetti and our rich Marinara sauce.

SPAGHETTI 8.89
A large plate of spaghetti topped with our rich Marinara sauce.

SPAGHETTI WITH MEATBALLS 9.79
A large plate of spaghetti topped with our rich Marinara sauce and *homemade* meatballs.

SHRIMP DINNER 10.99
Six large shrimp, butterflied and breaded, golden fried and served with cocktail sauce and lemon wedges.

We are doing our part to stamp out bad cholesterol-
WE USE ONLY 100% CANOLA OIL

CLASSIC SENIOR VALUE

Our "Classic Senior Dinners" include soup or salad and choice of fresh vegetable, coleslaw or carrot raisin salad, plus your choice of baked beans, rice or potato: *homemade* mashed potatoes, steak house fries (baked potato after 4pm), soft drink or coffee plus a dinner roll and dessert. We use only 100% Canola oil for all frying. Split Plate Charge 1.00. Ask about our Daily Specials

LIVER & ONIONS & BACON 7.99

Tender young beef liver floured and grilled with a shot of wine, topped with both grilled onions and fresh grilled bacon.

BEEF TRI-TIP STEAK 9.99

Served with our *homemade* BBQ sauce on the side.

Wild Salmon Fillet 10.99

Grilled and finished with garlic/dill butter



GARY'S SPECIAL WRANGLER STEAK 9.99

Gary's special 8oz Wrangler Steak broiled to perfection. Add Sauté mushrooms or onions- 99¢

CHICKEN STRIPS 8.59

Breast tenderloin golden fried and served with our *homemade* BBQ sauce for dipping.

RED SNAPPER 9.29

Lightly floured and grilled. Served with tartar sauce and a lemon wedge.

SHRIMP DINNER 8.99

Four large shrimp, butterflied and breaded, golden fried and served with cocktail sauce and a lemon wedge.



CHICKEN FRIED STEAK 9.39

Fried to a golden brown then smothered in our country gravy. Served with our *homemade* mashed potatoes.

FRIED CHICKEN 9.79

Three pieces of golden fried chicken, served country style with *homemade* mashed potatoes and our country gravy.

TERIYAKI STYLE CHICKEN 8.99

Boneless and skinless chicken breast marinated and broiled, topped with our Teriyaki glaze and sliced pineapple - best with rice.



BEER BATTERED COD 9.29

Icelandic cod dipped in our own beer batter and golden fried. Served with tartar sauce and lemon wedges.

Classic Favorites

HOMEMADE MEATLOAF 8.99

Grandma's old recipe (with a few changes of ours). Made here daily with fresh ground beef and seasoned just right. Try it with our *homemade* mashed potatoes and gravy.



POT ROAST 9.29

Braised and simmered for hours. Best with our *homemade* mashed potatoes and natural gravy. This house specialty is cooked fresh daily so when we sell out that's it 'til tomorrow.



TURKEY AND STUFFING 9.39

We roast the whole turkey so if you would like all dark meat, just speak up. Roasted here daily and hand carved. Served with our savory *homemade* sage stuffing and rich natural gravy. A house specialty since 1997.

Kona Pork Tri-Tip 9.69

Delicious and tender with a Hawaiian flair. Great with rice pilaf.

PORK CHOP 8.69

One center cut chop floured and grilled to a golden brown. Great with our *homemade* mashed potatoes and country gravy.

BBQ CHICKEN HALF 9.29

One half chicken, slow cooked and juicy. Finished on our open flame broiler and basted with our special recipe BBQ sauce.

Coconut Shrimp 9.29

4 Large shrimp coconut crusted and golden fried. Served with Thai sweet sauce

SALISBURY STEAK 9.39

Homemade every day. Fresh ground beef mixed with fresh bell pepper, onion and spices. Served with our *homemade* mashed potatoes.

Pasta

Served with thick sliced garlic bread, but no potato or vegetables.

CHICKEN PARMESAN 10.49

Boneless and skinless breast of chicken hand breaded in our *homemade* seasoned bread crumbs, sautéed and served with spaghetti and our rich Marinara sauce.

SPAGHETTI WITH MEATBALLS 8.49

A large plate of spaghetti topped with our rich Marinara sauce and *homemade* meatballs.

SPAGHETTI 7.49

A large plate of spaghetti topped with our rich Marinara sauce.

Look for  it's one of our specialties.

We are doing our part to stamp out bad cholesterol

DESSERTS, TREATS & SWEETS

Fresh Baked Pie

Strawberry Shortcake
A fresh buttermilk biscuit with loads of strawberries and whipped cream.

3.55

Apple Pie
Baked fresh daily. Loads of apples, cinnamon and spices in a rich flaky crust.

3.55

Berry Pie
Our newest addition. Baked fresh daily.

3.55

Peach Pie
A favorite here at Richmaid. Baked fresh daily.

3.55

Make it "a la mode" for only 99¢ extra!

Richmaid Fountain Goodies

Banana Split

5.99

Our old time favorite. Three scoops of ice cream topped with chocolate sauce, carmel and strawberry toppings, nuzzled in a fresh banana & crowned with whipped cream, nuts and Marachino a cherry.

Old Fashioned Milk Shake 4.25

We only use real ice cream, none of that soft serve or low fat stuff. Choose vanilla, chocolate or strawberry. Add Malt, only 25¢

Super Double Scoop Sundae 3.99

Vanilla ice cream with your choice of Hot Fudge, Strawberry, Caramel or Chocolate topped with whipped cream nuts and a Marachino cherry.

Single Scoop Sundae 2.99

Vanilla ice cream with your choice of Hot Fudge, Strawberry, Caramel or Chocolate topped with whipped cream nuts and a Marachino cherry.

Caramel Apple Sundae 4.59

Warm cinnamon apples crowned with caramel sauce, whipped cream & nuts.

Brownie Sundae (a fudge lover's dream) 4.59

A large scoop of ice cream, oodles of hot fudge, loads of whipped cream and nuts over a soft fudge brownie, mmmm.

Root Beer Float 3.49

Made the old fashioned way.

Single Dip Dish of Ice Cream 1.79

Double Dip Dish of Ice Cream 2.49

We proudly feature



Ice Cream

Ice Cream Flavors

Vanilla, Chocolate, Strawberry, Spumoni, and Rainbow Sherbert.

Sweets & Treats

Bread Pudding 2.59

Homemade and delicious. Topped with warm vanilla-raisin sauce.

Double Fudge Brownie 1.79

One of the best brownies you'll ever eat, soft 'n moist double fudge. Ask to have it warm.

Look for  it's one of our specialties.

RESOLUTION NO. P.C. 08-13

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LODI APPROVING THE REQUEST OF JANET CROW FOR A USE PERMIT TO ALLOW ON-SALE BEER AND WINE AT JANET'S RICHMAID RESTAURANT LOCATED AT 100 SOUTH CHEROKEE LANE.

(FILE # 08-U-06)

WHEREAS, the Planning Commission of the City of Lodi has heretofore held a duly noticed public hearing, as required by law, on the requested Use Permit, in accordance with the Lodi Municipal Code Section 17.72.070; and

WHEREAS, the project proponent is Janet Crow; and

WHEREAS, the property owner is Gary and Janet Crow, 25864 Ridge Drive, Pioneer, CA 95666; and

WHEREAS, the property is located at 100 South Cherokee Lane, Lodi, CA (APN 043-230-11); and

WHEREAS, the property has a General Plan designation of GC, General Commercial and is Zoned C-2, General Commercial; and

WHEREAS, the Use Permit to allow the sale of beer and wine for on-site consumption within the restaurant is an enforcement action in accordance with the City of Lodi Zoning Ordinance; and

WHEREAS, Census Tract 45 in which the restaurant is located currently has an over concentration of licenses allowing on premise consumption of alcoholic beverages; and

WHEREAS, because Census Tract 45 has an over concentration of on-sale general alcohol licenses, the Planning Commission must make a finding of necessity or public convenience in order to permit the issuance of an additional Alcohol Beverage Control license in this tract; and

WHEREAS, the State Department of Alcoholic Beverage Control (ABC) has training available that clearly communicates State law concerning the sale of alcoholic beverages; and

WHEREAS, all legal prerequisites to the adoption of this Resolution have occurred.

Based upon the evidence within the staff report and project file the Planning Commission finds:

1. The project is categorically exempt according to the California Environmental Quality Act, §15321, Class 21 (a) (2) (Enforcement Action by Regulatory Agency). The permit is being granted under adoption of an administrative decision or order enforcing the ABC license and enforcing Section 17.72.070 of the Zoning Ordinance and no significant impacts are anticipated and no mitigation measures have been required.
2. In order to comply with the State Department of Alcoholic Beverage Control, a Type-41 on-sale beer and wine license requires the sale of alcoholic beverages be secondary to food sales, which is the major activity of the project proponent's business.
3. The sale of alcoholic beverages as part of a restaurant is a public convenience that does not typically create alcohol related problems.
4. The proposed use is expected to be compatible with the surrounding use and neighborhood.
5. The granting of the Use Permit is consistent with the City's General Plan and Zoning Ordinance.

NOW, THEREFORE, BE IT DETERMINED AND RESOLVED by the Planning Commission of the City of Lodi that Use Permit Application No. 08-U-06 is hereby approved, subject to the following conditions:

Community Development Department, Planning:

1. The applicant will defend, indemnify, and hold the City, its agents, officers, and employees harmless of any claim, action, or proceeding to attack, set aside, void, or annul this permit, so long as the City promptly notifies the project proponent of any claim, action, or proceedings, and the City cooperates fully in defense of the action or proceedings.
2. The project proponent shall operate and abide by the requirements and conditions of the State of California Department of Alcoholic Beverage Control License Type-41.
3. The Type-41 License shall be limited to on-site sale and consumption of beer and wine during the hours that the restaurant is open for dining, from 6:00 a.m. to 8:00 p.m. Monday through Sunday.
4. There shall be no off-sale of alcoholic beverages and the sale of food shall compose more than 50 percent of gross sales receipts.
5. Prior to the issuance of a Type-41 license, the project proponent shall complete Licensee Education on Alcohol and Drugs as provided by the State Department of Alcoholic Beverage Control.
6. The project proponent shall insure that the serving of alcohol does not cause any condition that will cause or result in repeated activities that are harmful to the health, peace, welfare or safety of persons residing or working in the surrounding area. This includes, but is not limited to: disturbances of the peace, illegal drug activity, public drunkenness, drinking in public, harassment of passerby, assaults, batteries, acts of vandalism, loitering, excessive littering, illegal parking, excessive loud noises (especially in the late night or early morning hours), traffic violations or traffic safety based upon last drink statistics, curfew violations, lewd conduct, or police detention and arrests.
7. The conditions of the Use Permit are subject to review by staff and the Planning Commission for compliance.
8. No variance from any City of Lodi adopted code, policy or specification is granted or implied by the approval of this resolution.

Fire Department:

9. The hood & duct fire extinguishing system in the second floor kitchen area is non-compliant. The applicant shall provide verification for 5 year sprinkler system certification or remove all cooking components prior to serving alcohol.

Dated: June 11, 2008

I hereby certify that Resolution No. 08-13 was passed and adopted by the Planning Commission of the City of Lodi at a regular meeting held on June 11, 2008 by the following vote:

AYES: Commissioners:

NOES: Commissioners:

ABSENT: Commissioners:

ATTEST: _____
Secretary, Planning Commission

630 N. Pleasant Ave. Tentative Parcel Map Extension

Item 4a.

**CITY OF LODI
PLANNING COMMISSION
Staff Report**

MEETING DATE: June 11, 2008
APPLICATION NO: Tentative Parcel Map 05-P-006 (time extension)
REQUEST: Request for Planning Commission to approve a one year extension of time on a previously approved Tentative Parcel Map to divide one parcel into two parcels at 630 North Pleasant Avenue. (Applicant: Kathryn Takemura; File No. (05-P-006)
LOCATION: 630 North Pleasant Avenue APN: 041-110-22
APPLICANT: Kathryn Takemura, 235 Fairway Drive, Novato, CA 94949
PROPERTY OWNER: Kathryn Takemura, 235 Fairway Drive, Novato, CA 94949

RECOMMENDATION

Staff recommends that the Planning Commission approve the request of Kathryn Takemura for a one year extension of time on a previously approved Tentative Parcel Map to divide one parcel into two at 630 North Pleasant Avenue, subject to the conditions in the attached resolution.

PROJECT/AREA DESCRIPTION

General Plan Designation: ER, Eastside Residential
Zoning Designation: RE-1, Residential Single Family (Eastside)
Property Size: 8,049 square-feet

The adjacent zoning and land use are as follows:

North: RE-1, Residential Single Family (Eastside), Single Family Residence across Forrest Avenue.
South: RE-1, Residential Single Family (Eastside), Single Family Residence.
East: RE-1, Residential Single Family (Eastside). Single Family Residence.
West: RE-1, Residential Single Family (Eastside). Single Family Residence across Pleasant Avenue.

SUMMARY

Kathryn Takemura is requesting a one year extension of time for a previously approved Tentative Parcel Map to divide one parcel into two parcels at 630 North Pleasant Avenue.

BACKGROUND

On April 28, 2006, the Lodi City Planning Commission conditionally approved the request of Kathryn Takemura for a Tentative Parcel Map located at 630 North Pleasant Avenue, on the southeast corner of the intersection of Pleasant and Forrest Avenues. The applicant has not been able to complete all of the conditions required for the filing of the Final Parcel Map within the two year time frame of the tentative map and is requesting a one year extension of the map. The applicant is in the process of completing the required work on the map and anticipates being able to final the map within the year.

ANALYSIS

The previously approved tentative map subdivides the 8,049 square foot property into two parcels,

both fronting on a public street. The original parcel contains a single-family residence and a detached 18-foot wide by 20-foot deep one-car garage, which are both proposed to remain. Parcel One is 4,079 square feet in area, and contains the detached garage that a future house may utilize. Parcel Two is 4,000 square-feet in area, and contains the existing house. The applicant is proposing a two-car tandem carport along the south side of the house to replace the existing garage that will be on Parcel One.

Staff finds that the parcel map is properly conditioned to provide all of the necessary easements, utilities, dedications, and on and off site improvements. Staff also finds that the proposed Tentative Parcel Map, including the conditions in the attached resolution, creates two new parcels that meet the minimum 4,000 square foot lot size requirement, the minimum lot width of 40-feet, and the minimum off street parking requirements. Staff reviewed this request for a one year extension and referred the request to appropriate City departments. We have received comments back from the Fire and Public Works departments stating that they have no objections to the request for a map extension. Staff has determined that the granting of a one year extension will not adversely affect the parcel map or the surrounding neighborhood.

ENVIRONMENTAL ASSESSMENTS:

The project is found to be Categorically Exempt according to the California Environmental Quality Act, Article 19 Guidelines, §15315, Class 15, "Minor Land Divisions", No significant impacts are anticipated and no mitigation measures have been required.

ALTERNATIVE PLANNING COMMISSION ACTIONS:

- Approve the Request with Alternate Conditions
- Deny the Request
- Continue the Request

Respectfully Submitted,

Concur,

David Morimoto
Senior Planner

Peter Pirnejad
Planning Manager

ATTACHMENTS:

1. Vicinity Map
2. Tentative Map
3. Draft Resolution

Vicinity Map



RESOLUTION NO. P.C. 08-14

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LODI APPROVING THE REQUEST OF KATHRYN TAKEMURA FOR A ONE YEAR EXTENSION OF TIME ON A TENTATIVE PARCEL MAP TO DIVIDE ONE PARCEL INTO TWO AT 630 NORTH PLEASANT AVENUE.

WHEREAS, the Planning Commission of the City of Lodi has heretofore held a duly noticed public hearing, as required by law, on the requested Tentative Parcel Map as required by Lodi Municipal Code Chapter 16.08 and the Subdivision Map Act; and

WHEREAS, the property is located at 630 North Pleasant Avenue (APN: 041-110-22); and

WHEREAS, the project proponent is Kathryn Takemura, 235 Fairway Drive, Novato, CA, 94949 , and

WHEREAS, the property owner is Kathryn Takemura; and

WHEREAS, the property is zoned RE-1, Residential Single Family (Eastside), and has a General Plan land use designation of ER, Eastside Residential; and

WHEREAS, all legal prerequisites to the approval of this request have occurred; and

Based upon the evidence in the staff report and project file, the Planning Commission makes the following findings:

1. The project is found to be Categorically Exempt according to the California Environmental Quality Act, Article 19 Guidelines, §15315, Class 15, "Minor Land Divisions." No significant impacts are anticipated and no mitigation measures have been required
2. The proposed Tentative Parcel Map is consistent with the City's General Plan and is conditioned to conform to the standards and improvements mandated by the City of Lodi's Public Works Department Standards and Specifications; and Zoning Ordinance.
3. The size, shape and topography of the site are physically suitable for the proposed residential development in that the site is generally flat with no unusual or extraordinary topographic features.
4. The site is suitable for the proposed density of development.
5. The proposed Tentative Parcel Map does not conflict with easements, acquired by the public at large, for access through or use of property within the proposed map.
6. The proposed Tentative Parcel Map can be served by all public utilities.
7. The Tentative Parcel Map complies with the requirements of Chapter 16.08 of the Lodi Municipal Code regulating Tentative Maps.
8. None of the mandatory findings for tentative map denial within the Government Code, § 66474 apply to this project.

NOW, THEREFORE, BE IT FOUND, DETERMINED AND RESOLVED by the Planning Commission of the City of Lodi that the above described Tentative Parcel Map (File #05-P-006) is hereby granted a one year extension of time, subject to the following conditions, which are required for the subject project per City codes and standards unless noted otherwise:

Community Development Department, Planning:

1. The Tentative Parcel Map shall expire no later than one year following Planning Commission approval of this extension of time and no additional time extensions shall be granted.
2. The Final Map shall be in substantial conformance to the approved Tentative Parcel Map, as conditioned, and that any future development shall be consistent with applicable sections of the Municipal Code.

3. The Project Proponent will defend and indemnify, and hold the City, its agents, officers, and employees harmless of any claim, action, or proceeding to attack, set aside, void, or annul this permit, so long as the City promptly notifies the Project Proponent of any claim, action, or proceedings, and the City cooperates fully in defense or the action or proceedings.
4. Two covered parking spaces shall be required on Parcel 2 prior to issuance of a final map in compliance with Lodi Municipal Code, Title 17 Zoning, Chapter 17.60 Off-Street Parking, Section 17.60.100 A, 1, Off Street Parking. These two covered parking spaces may be tandem, as proposed and said structure shall be architecturally compatible with the existing residence.
5. Two covered parking stalls shall be required on Parcel 1 in compliance with Lodi Municipal Code, Title 17 Zoning, Chapter 17.60 Off Street Parking, Section 17.60.100 A,1, Off Street Parking. This condition shall be applied during the building permit process to build a new single-family residence on Parcel 1.

Community Development Department, Building:

6. A building permit will be required and the appropriate documents shall be submitted to the Community Development Department for complete review and approval for the required tandem carport on Parcel 2, the single-family residence on Parcel 1, and any modifications to the existing garage on Parcel 1 necessary to provide for 2 covered parking stalls.
7. A mechanical permit will be required and the appropriate documents shall be submitted to the Community Development Department for complete review and approval for the relocation or modification of the existing HVAC equipment if determined necessary for installation of the carport. The HVAC equipment shall be screened from public view.

Public Works Department, Engineering:

8. Provide separate water and wastewater services for each parcel.
 - a. Based on field review, there is an existing water service near the southwest corner of Parcel 2 that currently serves the existing residence on Parcel 2. The existing water service to Parcel 2 shall be upgraded to include a meter box. This work will be done by City crews at the owner's expense. Payment of a water meter installation fee is also required.
 - b. A new water service shall be provided for Parcel 1 from the existing 6-inch public water main in Forrest Avenue. The water service tap shall be provided by City crews at the owner's expense. The owner's contractor shall expose the water main for City crews and shall complete all other work required to extend the new service lateral to Parcel 1. An encroachment permit issued by the Public Works Department and a plumbing permit issued by the City of Lodi Building Division are required for this work.
 - c. Based on field review, there is an existing wastewater service located near the northeast corner of Parcel 2 that currently serves the existing residence. A cleanout conforming to Standard Plan 201 shall be installed on the existing wastewater service. This work will require a plumbing permit issued by the City of Lodi Building Division.
 - d. A new wastewater service shall be provided for Parcel 1 from the existing 6-inch wastewater line in Forrest Avenue. The wastewater service tap will be provided by City crews at the owner's expense. The owner's contractor shall expose the wastewater main for City crews and shall complete all other work required to extend the new service lateral to Parcel 1. An encroachment permit issued by the Public Works Department and a plumbing permit issued by the City of Lodi Building Division are required for this work.
9. Dedication of public utility easements as required by the various utility companies and the City of Lodi.

10. Abandonment/removal of wells, septic systems and underground tanks, if any, in conformance with applicable City and County requirements and codes prior to approval of public improvement plans.
11. The proposed driveway approach shown on the Tentative Map for Parcel 2 shall conform to City of Lodi Design Standards §1.400 and Standard Plan 135. An encroachment permit issued by the City of Lodi Public Works Department is required for this work.
12. Field review indicates that a non-conforming concrete driveway approach and drainage pipe have been installed in the gutter flow line at the existing driveway on Forrest Avenue. The non-conforming driveway approach and drainage pipe shall be removed. Any curb, gutter or sidewalk damaged by the driveway removal shall also be removed and replaced. A new residential driveway approach conforming to Standard Plan 135 shall be installed to serve Parcel 1 but may be deferred until the time of development of that parcel. An encroachment permit issued by the City of Lodi Public Works Department is required for this work.
13. Submit final map per City and County requirements including the following:
 - a. Preliminary title report.
 - b. Standard note regarding requirements to be met at subsequent date.
14. In order to assist the City of Lodi in providing an adequate water supply, the Owner/Developer on behalf of itself, its successors and assigns, shall enter into an agreement with the City that the City of Lodi be appointed as its agent for the exercise of any and all overlying water rights appurtenant to the proposed parcels, and that the City may charge fees for the delivery of such water in accordance with City rate policies. In addition, the agreement shall assign all appropriative or prescriptive rights to the City. The agreement will establish conditions and covenants running with the land for all parcels within the boundaries of the map and provide deed provisions to be included in each conveyance.
15. Payment of the following:
 - a. Filing and processing fees and charges for services performed by City forces per the Public Works Fee and Service Charge Schedule prior to final parcel map filing.
 - b. Development Impact Mitigation Fees per the Public Works Fee and Service Charge Schedule and Wastewater Capacity Impact Fee for Parcel 1 at the time of building permit issuance.
 - c. Water meter installation fee for Parcel 2 prior to final parcel map filing.
 - d. Water meter installation fee for Parcel 1 at the time of building permit issuance.
 - e. County Facilities Fees for Parcel 1 at the time of building permit issuance.
 - f. Regional Transportation Impact Fee (RTIF) for Parcel 1 at the time of building permit issuance.

The above fees are subject to periodic adjustment as provided by the implementing ordinance/resolution. The fee charged will be that in effect at the time of collection indicated above.

16. Obtain the following permits:
 - a. Encroachment permit from the Public Works Department for the following items:
 - i. Extension of water and wastewater service laterals for Parcel 1.
 - ii. All work in the public right-of-way of Pleasant Avenue and Forrest Avenue, including the removal of the non-conforming driveway approach on Forrest Avenue, curb, gutter and sidewalk repairs and the installation of new driveway approaches for both parcels.
 - b. San Joaquin County well/septic abandonment permit, if necessary.
 - c. Plumbing permit issued by the City of Lodi Building Division for the above mentioned water and sewer service work.

17. Project design and construction shall be in compliance with applicable terms and conditions of the City's Storm water Management Plan (SMP) approved by the City Council on March 5, 2003, and shall employ the Best Management Practices (BMPs) identified in the SMP.
18. The Project Proponent shall be responsible for all dust control during any construction and shall follow the construction methods established by the San Joaquin Valley Air Pollution Control District.

Electric Utilities Department:

19. Provision of all necessary Public Utility Easements, payment of Electric Utility Department charges, and installation of necessary equipment/infrastructure to provide electrical service to the properties in accordance with the Electric Department's rules and regulations.

Dated: June 11, 2008

I hereby certify that Resolution No. 08-14 was passed and adopted by the Planning Commission of the City of Lodi at a regular meeting held on June 11, 2008, by the following vote:

AYES: Commissioners:
NOES: Commissioners:
ABSENT: Commissioners:

ATTEST: _____
Secretary, Planning Commission

Actions of the City Council Memo

Item 6a.



MEMORANDUM, City of Lodi, Community Development Department

To: City of Lodi Planning Commissioners
From: Peter Pirnejad, Planning Manager
Date: Planning Commission Meeting of 6/11/08
Subject: Past meetings of the City Council and other meetings pertinent to the Planning Commission

In an effort to inform the Planning Commissioners of past meetings of the Council and other pertinent items staff has prepared the following list of titles.

If you have any questions, please feel free to contact the Planning Department or visit the City of Lodi website at: <http://www.lodi.gov/city-council/AgendaPage.html> to view Staff Reports and Minutes from the corresponding meeting date.

Date	Meeting	Title
April 22, 2008	SHIRTSLEEVE	Immediate Repair and Replacement Needs Discussion in Relation to the 2008-09 Budget (CM)
April 30, 2008	SPECIAL MEETING	Council Direction with Regard to Credit Enhancement Alternatives and/or Refinancing for the 2002 Electric Utility Certificates of participation (CM)
		Overview of 2008-09 Operating and Capital Outlay Budget (CM)
May 6, 2008	SHIRTSLEEVE	Overview of the Mechanics of Tax Increment Allocation – Statement of Indebtedness (CM)
May 6, 2008	PUBLIC FORUM	Hosted and Sponsored by the Lodi District Chamber of Commerce Pertaining to Redevelopment
May 7, 2008	REGULAR MEETING	Adopt Resolution Approving Purchase of Bronze “Celebration of the Harvest” Sculpture by Rowland Cheney to be Located on the Corner of School and Oak Street in Downtown Lodi (\$153,000)(COM)
		Adopt Resolution Approving Purchase of Pergola Art Piece Titled “Better Days” by Jarrod Mays to be Located on the Corner of Lodi Avenue and Washington Street (\$86,000)(COM)
		Adopt Resolution Approving the Loan Request of Walker-Roderick Properties LLC, Pat Walker and Jack Roderick, Guarantors, Through the Community Development Block Grant Funded Revolving Loan Fund Program as Recommended by the City Manager (CD)
May 7, 2008 Cont.		City Council Participation in Review of Applicants for Community Development Director (CM)
May 10, 2008	OPEN HOUSE	Open House Pertaining to General Plan Update Alternatives

See other side for continued report

May 13, 2008	SPECIAL MEETING	Review of the 2008-09 draft Budget (CM)
May 13, 2008	SPECIAL JOINT MEETING W/LODI ARTS COMMISSION	Discussion of items of mutual concern
May 14, 2008	SPECIAL MEETING	Review of the 2008-09 Draft Budget (CM)
May 20, 2008	SPECIAL JOINT MEETING W/BUDGET/FINANCE COMMITTEE	Review of the 2008-09 Draft Budget (CM)
May 21, 2008	REGULAR MEETING	Appointments to the Greater Lodi Area Youth Commission (Adult Advisor), Library Board of Trustees, Lodi Arts Commission, Lodi budget/Finance Committee, and Planning Commission (CLK) – <i>Congratulations to Wendel Kiser and Randy Heinitz!</i>
		Continue to Receive Budget presentation, Invite Public Comments, and Adopt Resolutions Approving the City of Lodi Fiscal Year 2008-09 Financial Plan and Budget, the Appropriations Spending Limit, and Allocating \$15,000 of Community Development Block Grant Funds for an Eligible Spay and Neuter Program (CM)
May 28, 2008	SPECIAL JOINT MEETING W/REDEVELOPMENT AGENCY	Public Hearing of the City Council and the Redevelopment Agency of the City of Lodi to Consider a Resolution Certifying the Adequacy of the Final Program Environmental Impact Report for the Lodi Community Improvement Project; a Resolution Finding that the Use of Taxes Allocated from the Lodi Community Improvement Project for the Purposes of Increasing, Improving, and Preserving the Community's Supply of Low-and Moderate-Income Housing Outside the Project Area will be of Benefit to the Project; and Consideration by the City Council of the Introduction of an Ordinance Adopting the Proposed Redevelopment Plan for the Lodi Community Improvement Project
June 3, 2008	SHIRTSLEEVE	Presentation Regarding Community Development Block Grant Entitlement Process (CD)
June 4, 2008	REGULAR MEETING	<i>Nothing to report</i>